

## **SPECIFIC PLAN**

Todd Ranch

A Residential Community  
in the  
City of Corona

SP-9 0-2

Prepared for:

Shea Homes  
25601 Camino Los Padres  
Laguna Niguel, CA 92677

Prepared by:

Keeton K. Kreitzer  
Environmental Perspectives  
1020 North Broadway, Suite 300  
Santa Ana, CA 92701

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[Amended 9/2/92]

### **Amendment to the Specific Plan**

<b><u>Case No.</u></b>	<b><u>Council Approval</u></b>	<b><u>Description/Applicant</u></b>
SPA 92-5	9/2/92	Amendment to Section IV.D.2.b Addition of wood sideyard fencing (Applicant: Shea Homes)

# TODD RANCH SPECIFIC PLAN

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## **I. INTRODUCTION AND SUMMARY**

### **I.A. Purpose and Scope**

The Todd Ranch Specific Plan (TRSP) has been prepared in response to the requirements established by the City of Corona. According to the Southern Corona Community Facilities Plan (CFP), applicants of development projects shall prepare a specific plan for properties encompassing 50 acres or more which are located within the 5,000-acre South Corona area.

The South Corona CFP established a land use concept intended to guide future development in the project area. The TRSP will provide guidelines for development of the Todd Ranch which will ensure that development which occurs on the subject property is consistent with the CFP policies and development standards related to residential development, circulation, bicycle trails, fences and walls, and parkway landscaping.

The adoption of the TRSP by the City of Corona is authorized by the California Government Code, Title 7 Divisional Chapter 3, Articles 8 and 9, Sections 65450 through 65507. The TRSP applies only to the property within the City and known as “Todd Ranch” (refer to Appendix A).

## I.B. Relationship to South Corona Community Facilities Plan

As previously described, the CFP is intended to guide future development in the project area. The CFP addresses the following issues:

- Land Use
- Village Concept
- Community Design
- Traffic/Circulation
- Public Facilities
- Sewer
- Water
- Drainage
- Plan Implementation
- Fiscal Assessment
- Financing Strategy
- Development Monitoring Program

The purpose of addressing these issues is to refine the Land Use and Circulation Elements of the Corona General Plan which apply not only to the South Corona area but also the entire City; identify the types and locations of infrastructure and public facilities (as well as financing mechanisms) to serve the South Corona area; establish architectural and landscape design themes and requirements; establish procedures and requirements for subsequent levels of planning, review and approval; and establish a process to monitor development within the South Corona area. The relationship of the TRSP to each of the elements of the CFP is described below.

### Land Use Plan

Todd Ranch is located in Village 1 within the South Corona area. The 57-acre property includes land within each of the three residential land use designations (i.e., low, low-medium, and medium density). The low density residential land use designation permits up to six dwelling units per acre, with a “target density” of 2.96 du/ac. Low-medium density residential permits three to eight dwelling units per acre and a target density of 3.90 du/ac. Finally, medium density residential allows six to 15 dwelling units per acre and provides for a 7.81 du/ac target density.

Based on the area within each designation, a total of 206 residential dwelling units would be permitted for the site. Table 1 provides a statistical summary of the target and proposed densities.

**Table 1**

**Todd Ranch Specific Plan  
Target and Proposed Dwelling Units**

Designation	Adj. Gross Acreage <sup>1</sup>	Target Density (DU/Ac)	Max. No. of Units Allowed	Proposed Density (DU/Ac)	No. of DUs Proposed
Low Density	30.9	2.96	91	3.14	98
Low Medium Density	17.5	3.90	68	3.77	65
Medium Density	6.0	7.81	47	3.50	21
<b>TOTALS</b>	<b>54.4</b>	<b>3.79</b>	<b>206</b>	<b>3.38</b>	<b>184</b>

<sup>1</sup>Estimated based on land use designation boundaries.

SOURCE: Church Engineering, Inc.

As can be seen from the information contained in Table 1, the Specific Plan proposes a total of 184 single-family detached residential dwelling units, consistent with the target densities reflected in the CFP. With the exception of the low density residential category, the specific plan proposes fewer units than permitted by the target density. The 3.14 du/ac density reflected for the low density area is well within the 0 to 6 du/ac density range permitted by the low density land use designation.

The Land Use Plan adopted for the CFP permits dwelling unit transfers through the following: (1) implementation of a specific plan, (2) transfers shall occur within the same village, and (3) the maximum density permitted within any land use category shall not be exceeded. Further, each of the residential land use categories permits the development of single family detached residential uses. Based on the density calculations presented above, the TRSP is consistent with the land uses permitted by the CFP.

Village Concept

As previously indicated, the subject property is located within village 1. It comprises approximately six percent of the entire Village 1 area and is consistent with residential land use designations identified for the site (see above discussion).

Community Design

The purpose of the Community Design Element of the South Corona CFP is to "... encourage and ensure, to the maximum extent possible, the creation of a quality urban landscape." The TRSP has been designed to achieve the goals and objectives of the Community

Design Element of the CFP by establishing a sense of community identity, open space, architectural design, and landscape design.

Traffic/Circulation

The Todd Ranch is affected by three master planned arterials and several local roadways. These arterials and roadways and their classifications are identified below.

<u>Roadway</u>	<u>Classification</u>
Lincoln Avenue	Major Arterial (100-foot R-O-W)
Foothill Parkway	Divided Secondary Arterial (88-foot R-O-W)
Todd Ranch Road	Secondary Arterial (88-foot R-O-W)
Buena Vista Avenue	Local Roadway (64-foot R-O-W)
A - M Streets	Local Roadway (64-foot R-O-W)

The TRSP will reserve these roadways and their rights-of-way for the City to purchase in accordance with Section 5 of Resolution No. 89-24. The circulation system proposed for Todd Ranch is consistent with the South Corona CFP.

Public Facilities

This element of the CFP addresses conceptual locations for parks and recreation facilities, schools, fire stations, police, libraries and post office facilities. ‘With the exception of parks and recreation, the site has not been designated for any public facilities. However, within the context of parks and recreation, a major bicycle arterial (i.e., recommended Class 1 trail) has been identified for the MWD easement which bisects the southerly portion of the site. This trail segment will complement the trail system which will be developed within the South Corona area to provide both regional and local linkages to recreational areas, parks, open spaces, schools, residential and commercial areas. The bicycle trail identified by the TRSP will conform to the standards established by CalTrans, as modified to ensure that both MWD and City goals and objectives can be achieved. As a result, public facilities identified by the TRSP are consistent with the CFP.

The TRSP will also be subject to park dedication and/or the payment of park “in-lieu” fees in accordance with Quimby Act requirements. Table 2 reflects the Quimby Act park dedication requirement for each phase of the Specific Plan. A total of 2.12 acres would be required to be dedicated to the City based on current Quimby Act standards. The TRSP will not dedicate park land but, rather, will pay the park dedication fees required by the City.

Prior to the recordation of the final map, the developer will pay a fee in-lieu of dedicating 2.12 acres of parkland. This fee is based upon 2.12 acres multiplied by the fair market value of the land per acre. Based upon the \$960 per dwelling unit fee, the developer will also pay a park improvement fee of \$176,640 prior to the issuance of building permits.

**Table 2**

**Quimby Act Park Dedication Requirements  
Todd Ranch Specific Plan**

Phase	No. of Units	Pop./DU <sup>1</sup>	Total Pop.	Quimby Act Requirements <sup>2</sup>
I	64	3.29	211	0.73 Ac.
II	54	3.29	178	0.62 Ac.
III	66	3.29	217	0.76 Ac.
Total	184	3.29	606	2.12 Ac.

<sup>1</sup>City of Corona population per household estimate.

<sup>2</sup> $0.0035 \times \text{Pop./DU} \times \text{No. of DUs}$ .

SOURCE: Corona Parks and Recreation Department

Sewer

The CFP has proposed a backbone sewer system for the 5,000-acre area and has also established design criteria. The Todd Ranch is located within Area “D”; specifically, in sub-areas D-4 and D-5. The sewer master plan proposes trunk sewer facilities in both Lincoln (D-4) and Buena Vista (D-5) Avenues which will serve the Todd Ranch. Implementation of on-site and off-site sewer facilities is described in detail in Chapter III (Project Phasing) of this document.

Adequate collection and treatment facilities, as identified in the CFP for the west side of the South Corona area, must be available to serve Todd Ranch. If those facilities and adequate treatment capacity are not available, the project sponsor shall be required to construct them prior to receiving certificates of occupancy in accordance with the adopted Sewer System Master Plan identified in the CFP.

Water

A backbone water system has also been proposed in the CFP to serve the South Corona area. Located in Zone 4, 12-inch transmission mains have been proposed in Lincoln Avenue and Todd Ranch Road and currently exist in Foothill Parkway which will serve the Todd Ranch. In addition, a reservoir is proposed at the 1220-foot elevation to serve Zone 4. Phasing of on-site and off-site water facilities is described in detail in Chapter III (Project Phasing) of this document. According to the South Corona CFP, development of Zone 4 will require the completion of the Foothill Parkway supply feeder, the Zone 4 reservoir, Zone 4 booster pump facilities and expansion of the Lester Water Treatment Plant or other water sources. If it is determined that adequate facilities do not exist to serve the subject property, the project sponsor will be required



to construct the necessary facilities prior to obtaining building permits. Permanent operating fire hydrants will be required within 150 feet of home construction prior to issuance of building permits. TRSP water system and connections to backbone facilities shall be designed to be consistent with the CFP.

### Drainage

Significant storm drainage collection facilities will be required to adequately protect the subject property from storm runoff. Three backbone facilities, including those in Lincoln Avenue (90 to 93 inches in diameter), Todd Ranch Road (63 to 72 inches in diameter), and Buena Vista Avenue (30 to 42 inches in diameter) will serve the Todd Ranch. On-site storm drain facilities, in addition to those master planned facilities, have been identified led in Chapter III (Project Phasing). A hydrology study was prepared which determined the nature and extent of on-site runoff. The drainage plan for the Todd Ranch, which will be implemented in two phases, is described below.

The initial phase will ultimately drain into the future Lincoln Avenue Channel, but at the present time the existing facility does not allow that the entire phase discharges in it. Therefore, Phase I will be split into two drainage patterns: the east side (i.e., lots 1 through 15 and 50 through 63) will be diverted into Phase 2, to be stored in a retardation basin located in Lots 109, 110 and 111; the west side (i.e., Lots 16 through 49) will drain into the existing ditch along Lincoln Avenue.

The developed runoff generated by the west side is equal to the undeveloped flow of the entire Phase I. For this reason, there will be no additional discharge into the previously mentioned facility.

On "A" Street, at the intersection with Lincoln Avenue, one catch - basin on each side will be installed with a temporary pipe discharging into the existing concrete swale. Ultimately, this pipe will be connected to the future storm drain.

Phase II will take the east portion of Phase I (i.e., Lots 1 through 15 and Lots 50 through 63) through a pipe between Lots 59-60 and 77-79, crossing over the 108-inch MWD line and will conduct the generated runoff to a temporary retarding basin located on the north side of the property (i.e., Lots 109 through 111). The temporary retarding basin will be eliminated at such time as the property to the west is developed and downstream storm drain facilities are constructed.

An outlet pipe from this basin will be provided with a capacity not to exceed the undeveloped condition discharging into a lined swale to be constructed off-site in the proximity of Lincoln Avenue, where a temporary pipe will be installed to cross the street and outlet into the existing concrete ditch.

### Plan Implementation

The CFP functions as a Master Specific Plan for the 5,000-acre area of which the Todd Ranch is a part. According to the CFP, all future and existing development within the study area shall conform to the policies and standards established by the CFP.

The TRSP design guidelines and development standards have been described in Chapter IV (Development Standards). The design guidelines and development standards establish a basis upon which all subsequent planning decisions can be based, consistent with the adopted CFP.

### Fiscal Assessment

A fiscal assessment was included as part of the CFP which assessed the costs and revenues associated with plan implementation. The TRSP is consistent with the land use projections proposed by the CFP. As identified by the fiscal impact analysis, build out of the South Corona area as proposed is anticipated to have a positive fiscal impact to the City over time. Development of Todd Ranch will contribute to those fiscal benefits through the payment of building permit, school and other fees to the City of Corona; property taxes; and participation in Mello-Roos District funding of infrastructure improvements within the CFP area.

### Financing Strategy

A Financing Strategy Program has been prepared and is an element of the Community Facilities Plan. That program identifies the manner in which master planned infrastructure, including sewer, water, storm drain, roadways, etc., can be financed and implemented. The project sponsor will participate in the financing of all infrastructure facilities necessitated by the project. Financing of the infrastructure and construction of the facilities will achieve the goals and objectives identified in the CFP to ensure that adequate public services and facilities are available to Todd Ranch.

### Development Monitoring Program

The Development Monitoring Program and procedures are intended to provide the City of Corona with an accurate record of the type, size, status and timing of various development projects within South Corona and a systematic method for assessing the impacts of the development proposals on the area's infrastructure. The TRSP has identified the anticipated development phasing of the residential project. The phasing presented in Chapter III of this document may change as a result of market conditions or other factors which affect development and construction activities subject to the provisions of Section V.E of this document. The phasing will be included in the City's data base which will be used by the City staff to determine the nature and extent of infrastructure improvements and the approximate timing of those facilities. In addition, it will ensure that a degree of

development flexibility can be exercised as the Land Use Plan (of the CFP) is implemented, but that overall density and development ceilings can still be maintained.

As identified in Table 1, the TRSP is proposing fewer dwelling units than permitted under the “target” densities established for the several land use designations. This information, combined with phasing and infrastructure needs, will be entered into the City’s Development Monitoring Program to ensure that adequate levels of service can be provided throughout the South Corona area and the City of Corona. As previously indicated, the TRSP proposes residential land uses which are consistent with the parameters and target densities proposed for the site by the CFP.

## I.C. Relationship to the Corona General Plan

In addition to the South Corona Community Facilities Plan, the City of Corona's planning process for South Corona is based upon a set of adopted goals and objectives that are included within the City's General Plan. Policies regarding land use, circulation, housing, open space and conservation and community design adopted by the City are intended to provide the basis on which all future development is predicated.

The Todd Ranch Specific Plan has proposed residential development which is consistent with the intent of the City's General Plan as evidenced by the inclusion of the following elements.

1. The Todd Ranch proposes only single-family detached residential development at a density well within the density prescribed by the General Plan. The residential development has been designed to be compatible with the existing and planned surrounding land uses.
2. The Todd Ranch Specific Plan proposes a phasing plan that acknowledges the need to economize the cost of municipal services by developing the project consistent with the availability of existing services.
3. The Specific Plan proposes a circulation system that is based on and is consistent with the Corona Circulation Element (and reflected in the South Corona CFP).
4. A system of bicycle trails proposed within the Todd Ranch will also accommodate non-vehicular traffic, including pedestrians and bicycles.
5. The Todd Ranch Specific Plan includes special provisions of enhanced parkway landscaping, entry monumentation and theme walls. The land use and circulation plans are designed to create secure residential neighborhoods that will not be impacted by through traffic.
6. Design guidelines proposed in the Specific Plan will result in an aesthetically pleasing planned residential community, including landscaped parkways, setbacks, and other elements which will maintain the integrity of the City's community design goals.

#### I.D. Specific Plan Summary

The TRSP is consistent with the CFP adopted by the City. A total of 184 single-family residential dwelling units will be constructed on the 57-acre property at a density of 3.38 dwelling units per acre (based on adjusted gross acres). The density of Todd Ranch will be within the 3 - 8 du/ac Low-Medium Density Residential land use designation established by the CFP. In addition to the residential development, it will be necessary to hook into adequate infrastructure capacity, including sewer, water, storm drain and circulation as well as in-tract facilities to serve the small residential community.

The TRSP has established development standards and criteria which address: (1) single-family residential development; (2) circulation; (3) bikeways; (4) fences and walls; and (5) parkways within the roadway cross-sections. These development standards establish the manner in which development must occur within the TRSP and incorporate by reference, where appropriate, the requirements of the City of Corona Municipal Code (e.g., zoning and subdivision ordinances). In the event of a conflict with the City of Corona Municipal Code, the TRSP will govern. In matters not covered by the TRSP, the Municipal Code shall have full force and effect.

Finally, the development phasing of both the residential lots and the infrastructure improvements which will accommodate the Todd Ranch have been estimated as a part of the TRSP. Although changes to the anticipated phasing may occur, the TRSP estimate will provide the City with information necessary to implement its Development Monitoring Program within the South Corona area, and any revisions to the phasing will occur in accordance with Section V.E of this document.

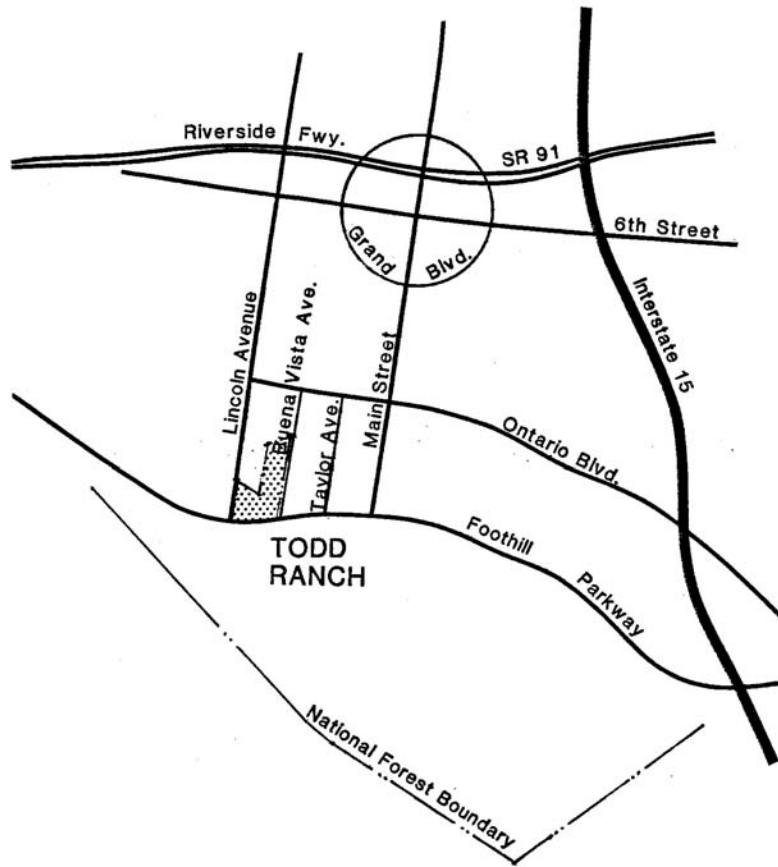
## **II. PROJECT DESCRIPTION**

### **II.A. Project Location**

The Todd Ranch is located within the southerly portion of the City of Corona. It encompasses 57 acres within village 1 as designated by the CFP, an area encompassing 5,021 acres generally south of Ontario Avenue and extending to the City limits to the south.

The site is approximately two miles south of the Corona Civic Center. Specifically, the irregularly-shaped property is bounded on the south by Foothill Parkway, on the west by Lincoln Avenue and on the east by Buena Vista Avenue. Ontario Avenue is located northerly of the subject property, separated from it by existing agricultural uses. A vicinity map has been presented as Exhibit

Vicinity Map



TODD RANCH

EXHIBIT 1



## II.B. Physical Setting

The 57-acre property is surrounded by existing agricultural uses on all sides. The site exhibits a local relief of approximately 80 feet, extending from the southerly boundary to the north (a distance of about 0.4 mile). The property is characterized by a gradual slope of generally less than five percent sloping from south to north, as previously indicated. A 40-foot wide utility easement bisects the property from east-to-west north of Foothill Parkway. A 108-inch diameter Metropolitan Water District water transmission main is located within this easement.

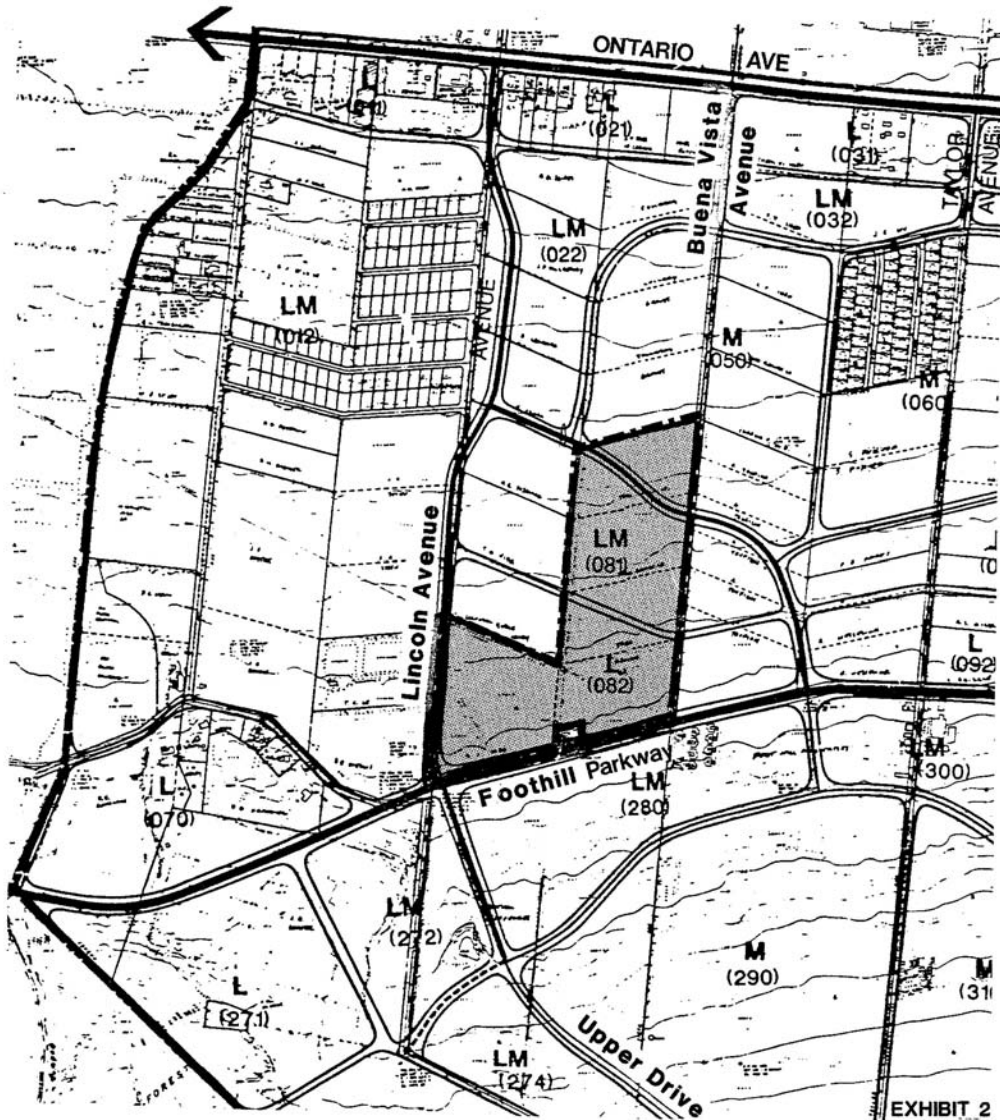
Several easements are identified within the subject property, including those for construction and maintenance of water pipes and ditches, flumes and conduits for agricultural purposes. An easement and right-of-way for maintenance, operation and repair or replacement of an eight-inch pipe line is also identified within the limits of the site, as well as an easement for a single water booster pumping facility.

Although the Todd Ranch and adjacent properties are currently zoned Agriculture, the properties surrounding the subject site are designated by the CFP for urban land uses and, in general, the surrounding properties are in transition from existing agricultural uses to urban uses consistent with the CFP. Low-medium residential development has been identified on that adopted Plan for the areas south of Foothill Parkway and west of Lincoln Avenue. Low, low- medium and medium density residential have been adopted for the properties east of Buena Vista Avenue while low and low-medium densities identified west of the subject site (east of Lincoln Avenue). Low density residential is shown for the property north and south of the Todd Ranch.

The Foothill Ranch (SP 89-01) is located south of Foothill Parkway between Lincoln Avenue and Garretson Avenue. This 902-acre specific plan will permit the development of approximately 3,250 single- and multiple-family residential dwelling units as well as commercial and quasi-public uses and parks and recreational amenities. Lincoln Avenue, Foothill Parkway, and Todd Ranch Road will provide access to both the Todd and Foothill Ranch developments. In addition, infrastructure facilities located in those arterials, including sewer, water and storm drain facilities, will serve both projects. Exhibit 2 illustrates the relationship of the Todd Ranch to the South Corona area.



Relationship to South Corona CFP



TODD RANCH

EXHIBIT 2

## II.C. Project Description

The TRSP proposes a total of 184 single-family detached residential dwelling units on 54.4 adjusted gross acres, resulting in a density of 3.38 dwelling units per acre. Table 1 reflects the land use allocation for Todd Ranch.

Exhibit 3 depicts the Land Use Development Plan for Todd Ranch. The proposed project is consistent with land use designations adopted with the CFP. As previously indicated (refer to Section I.B), the overall density proposed for Todd Ranch is less than the “target” densities identified by the CFP.

A detached residential product type is proposed for Todd Ranch. The 7,200 square foot lots are consistent with the R-1-7.2 zoning classification. The TRSP incorporates many of the development standards established for that single-family residential zone; however, it is intended to revise and/or refine those development requirements and standards of the Corona Municipal Code in order to address the specific conditions of the Todd Ranch.

A total of approximately 606 people will ultimately reside within the Todd Ranch, based on the City’s population per household of 3.29 persons estimated for low density residential development. Table 3 reflects the incremental increase in population for each of the three development phases anticipated.

**Table 3**

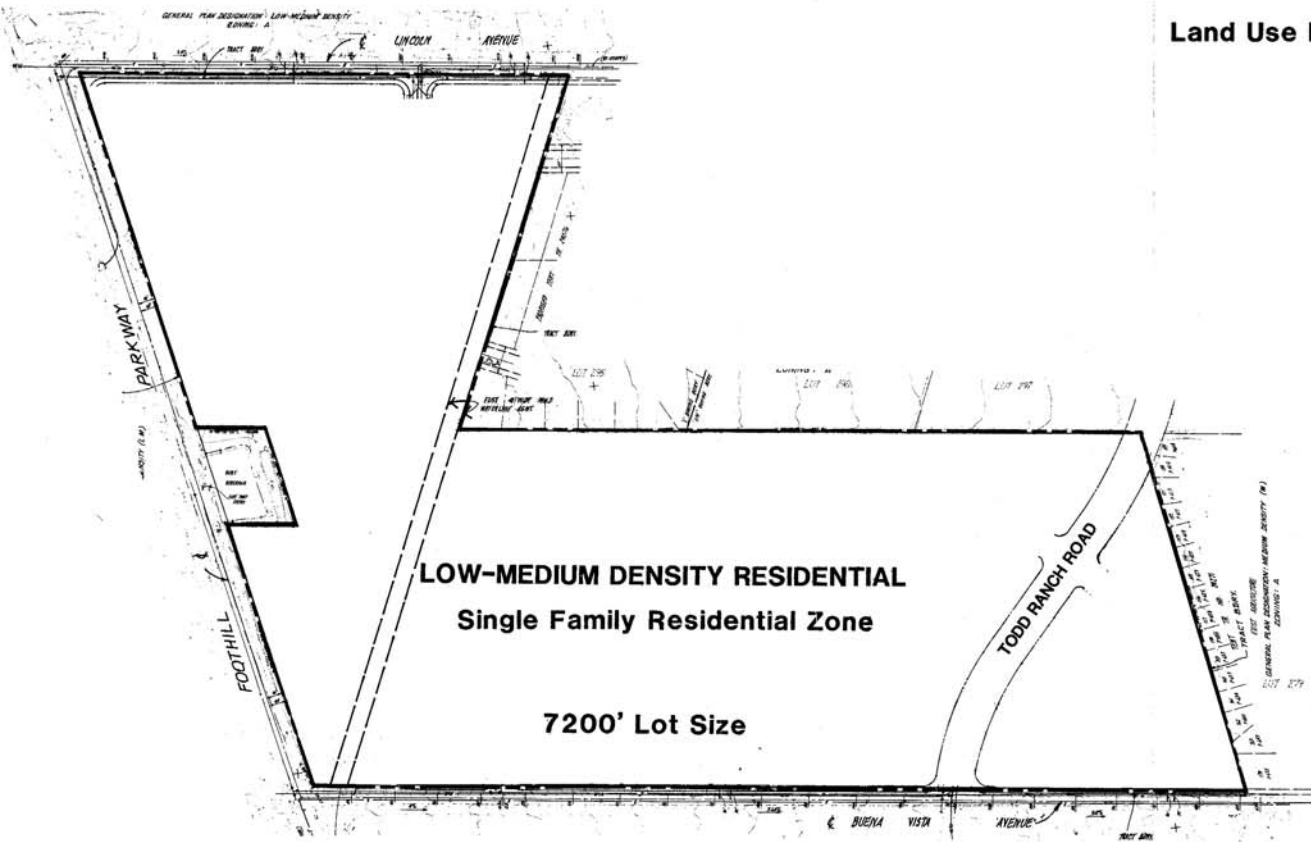
**Estimated Population by Phase  
Todd Ranch Specific Plan**

Phase	No. of DUs	Pop./DU <sup>1</sup>	Est. Pop.	% of 1990 City Housing	1990 Jobs/Housing Ratio
I	64	3.29	211	0.18	1.44
II	54	3.29	178	0.15	1.44
III	66	3.29	217	0.18	1.44
Total	184	3.29	606	0.50	1.44 <sup>2</sup>

<sup>1</sup>Population/dwelling unit based on City of Corona estimate.

<sup>2</sup>Jobs/Housing ratio will decrease to 1.19 by the year 2010. SCAG Growth Management Plan Target is 1.22.

SOURCE; Environmental Perspectives



**TODD RANCH SPECIFIC PLAN**

## II.D. Project Objectives

It is the intent of the applicant to develop Todd Ranch as a high quality, single-family residential development within the South Corona area of the City, consistent with the goals and objectives of the CFP. More specific market objectives include:

1. To provide traditional single-family detached residential housing in the South Corona area of the City, in concert with the adopted residential land use designations reflected on the South Corona Community Facilities Plan.
2. To reflect anticipated marketing needs and public demand by providing single-family detached residential dwelling units which will be marketable within the economic profile of the City of Corona.
3. To include design segments and features in the residential products that respond to foreseeable demands in the market area.
4. To create a community identity within village 1 of the South Corona area through the creation and application of community design elements which will create a continuity of design within the project, consistent with the CFP.
5. To provide adequate infrastructure, utilities and public services to meet the needs of the community, consistent with the adopted CFP.
6. To accommodate the City's Master Plan of Bicycle Trails as part of the improvement plans through the development of a Class I bicycle trail within the MWD easement which bisects the site.

### III. PROJECT PHASING

The TRSP is proposed to be recorded in three phases (i.e., Final Maps). The initial Final Map will consist of 64 lots, followed by 54 lots in the second Final Map, and 66 lots in the third Final Map for a total of 184 lots.

Exhibit 4 illustrates the development phasing described above. As can be seen, development will occur from Lincoln Avenue and extend to the easterly property boundary in the initial phase. Phase 2 will extend from the MWD easement northerly while the final phase will complete the residential development to the northerly property boundary.

It will be necessary to implement infrastructure facilities both on-site and off-site concurrently with development. The sequence of implementing these facilities is identified below.

#### III.A. Phase One

##### III.A.1. On-Site Improvements

###### a. Streets

“A” Street

“B” Street from “A” Street to “J” Street

“G” Street

“H” Street

“I” Street from “H” Street to northerly tract boundary “J” Street from “B” Street to Buena Vista Avenue

Lincoln Avenue (one-half width plus 10 feet) along westerly tract boundary

Foothill Parkway (one-half width, plus the median, plus a 12-foot return from the southerly tract boundary between Lincoln Avenue and Buena Vista Avenue.

NOTE: “I” Street from “A” Street north to the tract boundary may be constructed at a later date but will be bonded for by the developer.

###### b. Sewers

“A” Street

“B” Street from “A” Street to “J” Street

“G” Street

“H” Street

“I” Street from “H” Street to “A” Street

Lincoln Avenue 8-inch main from Foothill Parkway to the northwest tract boundary

###### c. Water

“A” Street

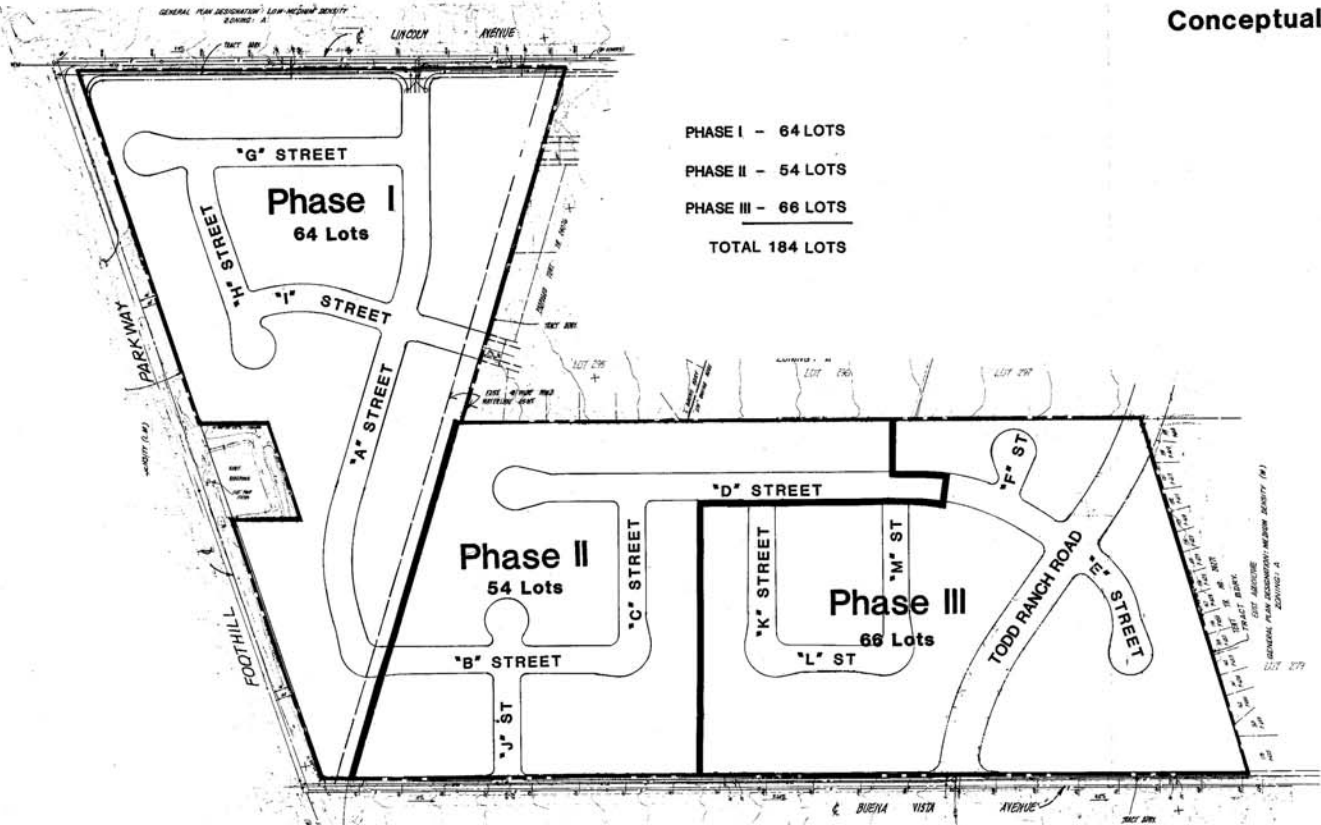
“B” Street from “A” Street to “J” Street

“G” Street

“H” Street

“I” Street from “H” Street to northerly tract boundary

Conceptual Phasing Plan



TODD RANCH SPECIFIC PLAN



“J” Street from “B” Street to Buena Vista Avenue Buena Vista Avenue from “J” Street to Foothill Parkway

d. Storm Drains

“A” Street from Lincoln Avenue to easterly terminus  
Lincoln Avenue Master Planned storm drain across tract frontage

Construct that portion of the master planned storm drain along Foothill Parkway, from Buena Vista west along the tract boundary to the location of this storm drain line identified in the South Corona CFP, unless otherwise approved by the City Engineer.

e. Landscaping

Class I Bike Trail within the MWD Easement between  
Lincoln Avenue and Buena Vista Avenue  
Lincoln Avenue dedicate and construct improvements for  
Lots “A” and “B” along the tract frontage  
Foothill Parkway dedicate and construct improvements for Lots “C” and “D” along tract frontage

III.A.2. Off-Site Improvements

a. Streets  
None

b. Sewers  
Lincoln Avenue from northwest tract boundary to Stillwater Road

c. Water  
None

d. Storm Drain

Design and construct or provide security for the ultimate improvements to the Lincoln Avenue storm drain, from the Oak Street Channel to the southern boundary of this tract. A temporary detention basin within Phase I may be required, subject to the approval of the City Engineer, if downstream facilities in Lincoln Avenue and the Oak Street Channel are not constructed.

e. Landscaping  
None

III.B. Phase Two

III.B.1. On-Site Improvements

a. Streets

Todd Ranch Road (southerly one-half width plus 10 feet)  
from Buena Vista Avenue to 'D' Street

"B" Street from "J" Street to "C" Street

"C" Street

"D" Street from the southerly terminus to Todd Ranch Road

"J" Street from "B" Street to the westerly terminus

Buena Vista Avenue (one half width plus 10 feet) from

Foothill Parkway to the northerly tract boundary of Phase Two

b. Sewers

"B" Street from "J" Street to "C" Street

"C" Street

"D" Street from the southerly terminus to Todd Ranch Road

"J" Street from "B" Street to the westerly terminus

Buena Vista Avenue from Foothill Parkway to the northerly tract boundary of Phase  
3

Todd Ranch Road from Buena Vista Avenue to "D" Street

c. Water

"B" Street from "J" Street to "C" Street

"C" Street

"D" Street from the southerly terminus to Todd Ranch Road

"J" Street from "B" Street to the westerly terminus Buena Vista Avenue from "J"  
Street to Todd Ranch Road Todd Ranch Road from Buena Vista Avenue to "D" Street

d. Storm Drain

Buena Vista Avenue from Foothill Parkway to Todd Ranch Road

Todd Ranch Road from Buena Vista Avenue to tract boundary

"D" Street from Todd Ranch Road to the south as determined in the approved  
drainage study

A temporary detention basin within Phase II may be required, subject to the approval  
of the City Engineer, if the downstream facilities in Lincoln Avenue and the Oak  
Street Channel are not constructed

e. Landscaping

None



### III.B.2. Off-Site Improvements

- a. Streets  
None
- b. Sewers  
Buena Vista Avenue from northerly tract boundary of Phase Three to Railroad Street
- c. Water  
None
- d. Storm Drain  
Todd Ranch Road, from the western tract boundary to Lincoln Avenue
- e. Landscaping  
None

### III Phase Three

#### III.C.1. On-Site Improvements

a. Streets

Todd Ranch Road from “D” Street to the northwesterly tract boundary (either complete it or blockade it subject to the approval of the City Engineer, Police Chief, and Fire Marshal)

Todd Ranch Road from “D” Street to Buena Vista Avenue (complete northerly half plus 10 feet)

Buena Vista Avenue (one-half width plus 10 feet) from the southerly tract boundary of Phase Three to the northerly tract boundary

“E” Street

“F” Street

“K” Street

“L” Street

“M” Street

b. Sewers

“E” Street

“F” Street

“K” Street

“L” Street

“M” Street

c. Water

“E” Street

“F” Street

“K” Street

“L” Street

“H” Street

Buena Vista Avenue from the southerly tract boundary of Phase Three to the northerly tract boundary

Todd Ranch Road from “D” Street to the northwesterly tract boundary

d. Storm Drain

None

e. Landscaping

Todd Ranch Road Landscape Maintenance District lots on the north and south sides of Todd Ranch Road

#### III.C.2. Off-Site Improvements

a. Streets

None

b. Sewers

None

c. Water

None

- d. Storm Drain  
None
- e. Landscaping  
None

A good faith effort has been made to accurately predict construction phasing, however, it must be understood that although the proposed phasing is intended to portray the probable sequence of development, infrastructure facilities construction and scheduling, changes in general market conditions, or other unforeseen circumstances may arise which will require a change in the phasing in accordance with Chapter V.E of this document.

A detailed drainage study will be required in order to ensure that the storm drain facilities identified above will be adequate to accommodate post-development storm runoff conditions. Two points of approved vehicular access and access to water facilities to and throughout each development phase shall be provided. Water and sanitary sewer facilities shall be constructed in accordance with the CFP. Interim and permanent drainage facilities shall be approved by the City Engineer prior to the approval of the tentative tract map.

A 20-foot lettered lot extending along the southerly portion of the property (on the north side of Foothill Parkway) shall be dedicated to the Landscape Maintenance District. Similarly, a 10-foot lot along the easterly side of Lincoln Avenue and an 18-foot lot along the northerly side of Todd Ranch Road shall also be dedicated to the Landscape Maintenance District. The MWD Easement/Class I bike trail landscape lot shall be dedicated to the Landscape Maintenance District. All LMD lots shall be designed in accordance with "LMD Formation and Design Guidelines" adopted by the City of Corona.

## **IV. DEVELOPMENT STANDARDS**

### **IV.A. Residential Development Standards**

#### **IV.A.1. Purpose and Intent**

The purpose of these regulations is to provide for coordinated development of Todd Ranch so as to maximize the quality of life for future residents of the project in concert with the natural site characteristics and with the City's general development objectives for this area as expressed in the South Corona CPP.

The development standards set forth in this section of the specific plan are intended to incorporate by reference those regulations included in Chapter 17.18 of the Corona Municipal Code, except where specifically modified and identified below. Where discrepancies occur between the City's Municipal Code and the TRSP, the development standards included in this Chapter of the Todd Ranch Specific Plan shall take precedence.

#### **IV.A.2. Permitted Uses**

- a. One-family dwellings of a permanent character placed in a permanent location.
- b. Small family day care homes.
- c. Detention basin.
- d. Construction trailer or trailers may be used as a construction project office during time of construction, with valid grading and/or building permits.
- e. Model home complex, including sales office subject to the review of the Board of Zoning Adjustment in accordance with the provisions of Chapter 17.98 of the Corona Municipal Code.
- f. Bicycle trails.

#### **IV.A.3. Development Density**

- a. The number of dwelling units permitted shall be subject to the density allocations found in Table 1 of the TRSP.

#### **IV.A.4. Property Development Standards**

- a. Building Height
  - (1) Buildings and structures erected shall have a height not greater than two stories or 35 feet from finished grade.

b. Yards

- (1) Front yards shall have a depth of not less than 20 feet from property line to garage or a minimum of 15 feet if the garage is side-loaded. Front yards shall have a depth of a minimum of 15 feet from property line to a dwelling unit with an average of not less than 17 1/2 feet per street frontage by use of a variable setback.
  - (a) A minimum of 75 percent of the homes per street shall have a front yard setback of greater than 15 feet from the property line to the living area.
- (2) Rear yards shall have a depth of not less than 10 feet (level) from building to property line.
- (3) Side yard setbacks shall be a minimum of five feet on one side and 10 feet on the other. Street side yard setbacks along a local street shall be 10 feet and along a major or secondary road, the setback shall be a minimum of 15 feet.
- (4) A minimum 20 foot setback shall be provided from the village theme wall along Foothill Parkway.
- (5) "Side living" lots (refer to Exhibit A in Appendix C) shall have one side yard of 10 feet with five feet of level area and one side yard of 20 feet with 15 feet of level area (to function as the rear yard area). A patio structure open on three sides or an accessory structure within 10 feet of the property line shall also be permitted.

Side living lots shall have a level rear yard of not less than five feet and a total rear yard distance of not less than 10 feet. When abutting an LMD, side living lots shall have a level rear yard of not less than 10 feet. A patio structure open on three sides or an accessory structure within 10 feet of the property line shall also be permitted.

No more than a maximum of five percent of the lots in this proposed subdivision shall be side living lots.

c. Coverage

- (1) Lot area coverage by buildings or structures shall not exceed 40 percent of the total lot area.

d. Walls, Fences and Landscaping

- (1) The provisions of Section IV.D of the TRSP and Chapter 17.70 of the Corona Municipal Code shall apply.

IV.A.5. Residential Design Guidelines

The following design guidelines are provided as statements of intent which are flexible enough to promote good design and encourage creativity and quality development.

The objective of establishing and reinforcing the sense of community identity as set forth in the CFP will be achieved through the implementation of the TRSP by establishing a compatible architectural style, landscape theme, and site design.

Building materials and articulation as well as project design elements (e.g., entry monumentation, fences and walls, etc.) identified for the Todd Ranch will enhance the aesthetic quality and character in the area.

Long, linear vistas and building edges within the development and along the streetscape will be avoided through variations in setbacks. This will also be accomplished through such features as window “pop-outs and other architectural projections to create variation.

At least two different materials shall be used for the exteriors of each house to enhance the visual character within the Todd Ranch. Exterior materials will include stucco, wood, glass, metal, masonry, etc. Complementary features may also include concrete/tile roofs, decks, and other elements which serve to enhance the visual impact.

Landscape materials shall be consistent with the plant palette established for the Todd Ranch and shall be comprised of California native and drought tolerant species (refer to Section IV.E).

Landscaping shall be designed to establish project identity and to accentuate entrance areas. The historical features of the South Corona area and, specifically, the Todd Ranch, will be reflected in the design of entry monumentation and walls.

## IV.B. Circulation Development Standards

### IV.B.1. Purpose and Intent

The circulation system proposed for the Todd Ranch is fundamentally based on the provision of direct and convenient access to and from all portions of the site. Exhibit 5 illustrates the hierarchy of streets for the Todd Ranch.

Roadways will be constructed to the following standards, as established by the CFP and illustrated on the Typical Roadway Sections (refer to Exhibit 6).

#### Foothill Parkway

Foothill Parkway is classified as a Divided Secondary Arterial by the South Corona CFP. This four-lane arterial roadway shall be designed within an 88-foot right-of-way. This roadway cross-section will include the following elements as depicted on Exhibit 6.

- 4, 12-foot travel lanes
- 14-foot raised median
- 2, 8-foot emergency parking lanes
- 5-foot parkway on each side of the roadway

Development of the Todd Ranch will necessitate the construction of a half-section (i.e., 44 feet from centerline plus the median plus 12 feet) of Foothill Parkway between Buena Vista Avenue and Lincoln Avenue. In addition, a minimum 20-foot landscape lot is located along Foothill Parkway which will be dedicated to a landscape maintenance district. A five-foot sidewalk is provided in Foothill Parkway within the landscape lot.

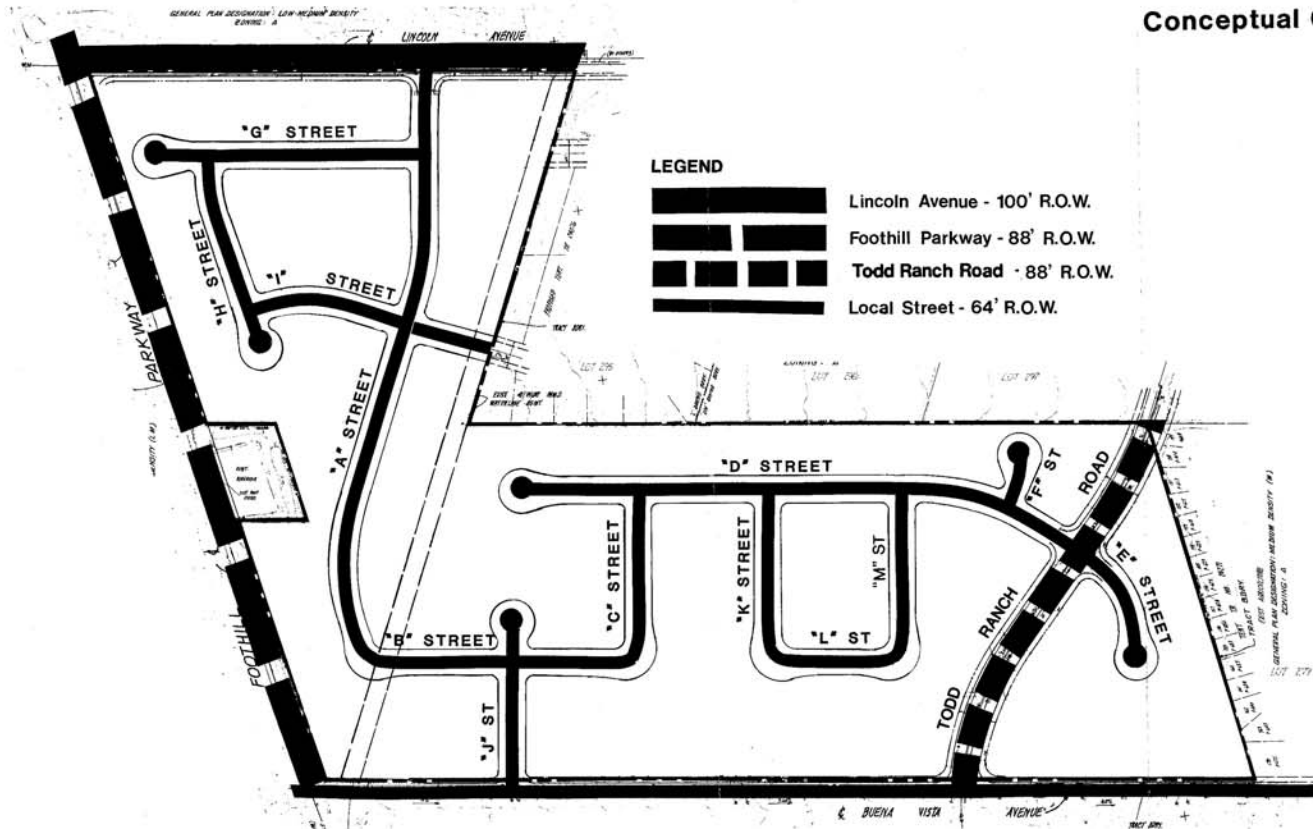
#### Lincoln Avenue

Lincoln Avenue is a four-lane Divided Major Arterial according to the South Corona CFP. A 100-foot right-of-way shall be reserved for the ultimate improvements to this master planned roadway. As illustrated on Exhibit 6, the roadway cross section will include the following elements.

- 2, 13-foot travel lanes adjacent to striped median
- 2, 12-foot travel lanes adjacent to parking lanes
- 14-foot striped median
- 2, 8-foot emergency parking/bicycle lanes
- 10-foot parkway lot on each side of the roadway

A half-section (plus 10 feet) of Lincoln Avenue shall be constructed from Foothill Parkway and extend northerly along the westerly property boundary. This 50-foot roadway improvement shall extend from the right-of-way to the roadway centerline. In addition, a minimum 10-foot landscape lot is located along Lincoln Avenue which will be dedicated to a landscape maintenance district.

# Conceptual Circulation Plan



Street Configurations will be approved with the Tentative Tract Map.

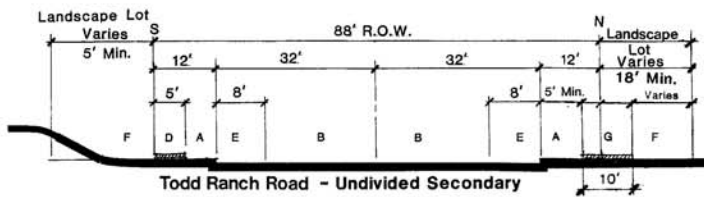
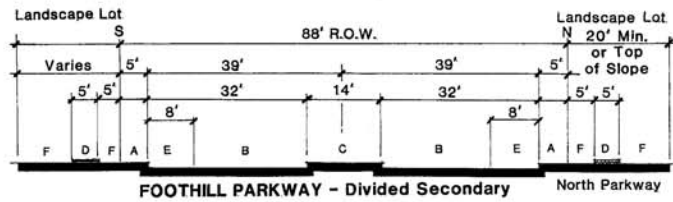
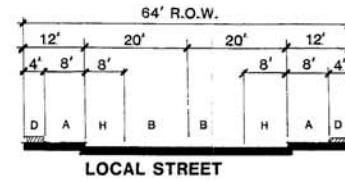
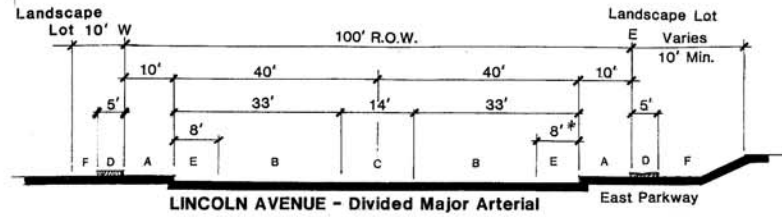
## TODD RANCH SPECIFIC PLAN

EXHIBIT 5





## Typical Roadway Sections



### DESCRIPTION OF TYPICAL ROADWAY SECTIONS

Segment Designation	Segment Description
A	Parkway
B	Travel Lanes
C	Median
D	Sidewalk
E	Bikeway/Emergency Parking
F	Landscape Lot
G	Bikeway
H	Parking Lane

**TODD RANCH**

A five-foot sidewalk is provided in Lincoln Avenue within the landscape lot.

### Todd Ranch Road

Todd Ranch Road has been classified as a Secondary Arterial (four lanes, undivided). The location and cross-section for this 88-foot arterial are illustrated on Exhibit 6 and described below.

- 4, 12-foot travel lanes
- 2, 8-foot emergency parking/bicycle lanes
- 12-foot parkway on each side of the roadway (including sidewalk)

A full-section of Todd Ranch Road shall be constructed within the Todd Ranch. This 88-foot right-of-way shall extend from Buena Vista Avenue to the northwesterly property boundary. In addition, an 18-foot landscape lot is located along Todd Ranch Road which will be dedicated to a landscape maintenance district.

### Local Roads/Residential Collector Streets

Buena Vista Avenue and the internal street system proposed for the Todd Ranch have been designated as “local roads” which will serve the residential development and feed the arterial roadways serving not only Todd Ranch but also the larger Village 1 area within the South Corona Area. The local road cross-section is described below as depicted previously on Exhibit 6

- 2, 12-foot travel lanes
- 2, 8-foot parking/bicycle lanes
- 2, 12-foot parkways on each side of the roadway (including sidewalk)

All local roads and residential collector streets shall be constructed to their full widths within Todd Ranch.

### IV.B.2. Circulation Development Standards

The development regulations set forth in this section of the specific plan are intended to incorporate by reference those regulations included in Chapter 16.08 of the Corona Municipal Code, except where specifically modified and identified below.

#### a. Arterial Roadways

- (1) Refer to Section IV.B.1

#### b. Cul-de-sacs

- (1) All local streets and cul-de-sacs shall be constructed to City of Corona Public Works Department standards in accordance with Section

16.08 of the Corona Municipal Code with the following exceptions:

- (2) A minimum of one on-street parking space per lot shall be provided within reasonable walking distance of the, lot.
- c. Streets -Widths
  - (1) Refer to Section IV.B.1 (Exhibit 6).
- d. Streets - Curved
  - (1) Curved streets in comparatively level locations shall have a centerline radius of five hundred (500) feet or greater. A lesser radius may be approved by the City Engineer.

#### IV.B.3. Circulation Design Guidelines

- a. Design standards follow development criteria set forth in the CFP and Corona Circulation Element of the General Plan.
- b. The TRSP street system considers the development of adjacent properties through the extension of a local road.
- c. Bikeways and pedestrian trails will be integrated with the street system as identified by the South Corona CFP.
- d. Circulation design provides for a safe and adequate means of ingress and egress of vehicular and pedestrian traffic to and within the project.
- e. Circulation design provides for access of emergency vehicles necessary to serve the project area.
- f. All public streets shall be provided with a level of street lighting designed to protect the health, safety and welfare of those living within the Todd Ranch.
- g. All roadways may be required to be widened at intersections with major and secondary roadways to provide for turning movements in accordance with Section 3.4.1.2 of the CFP.

#### IV.C. Bicycle Trail Standards

##### IV.C.1. Purpose and Intent

The TRSP will incorporate a bicycle trail system within its boundaries which is intended to implement the CFP Bicycle Circulation System.

##### IV.C.2. Bicycle Trail Development Standards

###### a. Class I Bikeway

###### (1) MWD Easement Bikeway (Refer to Exhibit 7)

- (a) A 15-foot wide asphalt or concrete bike/pedestrian trail, subject to the satisfaction of the City Engineer, may be incorporated along the northern edge of the 40- foot wide MWD easement through the TRSP. This bike trail shall be subject to the approval of MWD and the City of Corona.
- (b) Landscaping shall occur within the MWD easement. Informal plantings of shallow-rooting trees, shrubs and ground covers shall include the elements identified in the plant palette noted below. Ground covers incorporated into the design of the easement shall be drought tolerant.

Acacia spp.  
Cassia splendens  
Cistus spp.  
Cotoneaster lactea  
Melaleuca hypericifolia  
Pyracantha spp.  
Raphiolepis indica  
Rhus spp.  
Rosemarinus officinalis

- (c) Maintenance of the trail and the landscaping within the easement shall be the responsibility of the City of Corona through a Landscape Maintenance District.
- (d) The design of the bike trail and landscaping of that facility shall be in accordance with “Landscape Maintenance District Formation and Design Guidelines” adopted by the City of Corona.

# Typical Bicycle Trail Section MWD Easement

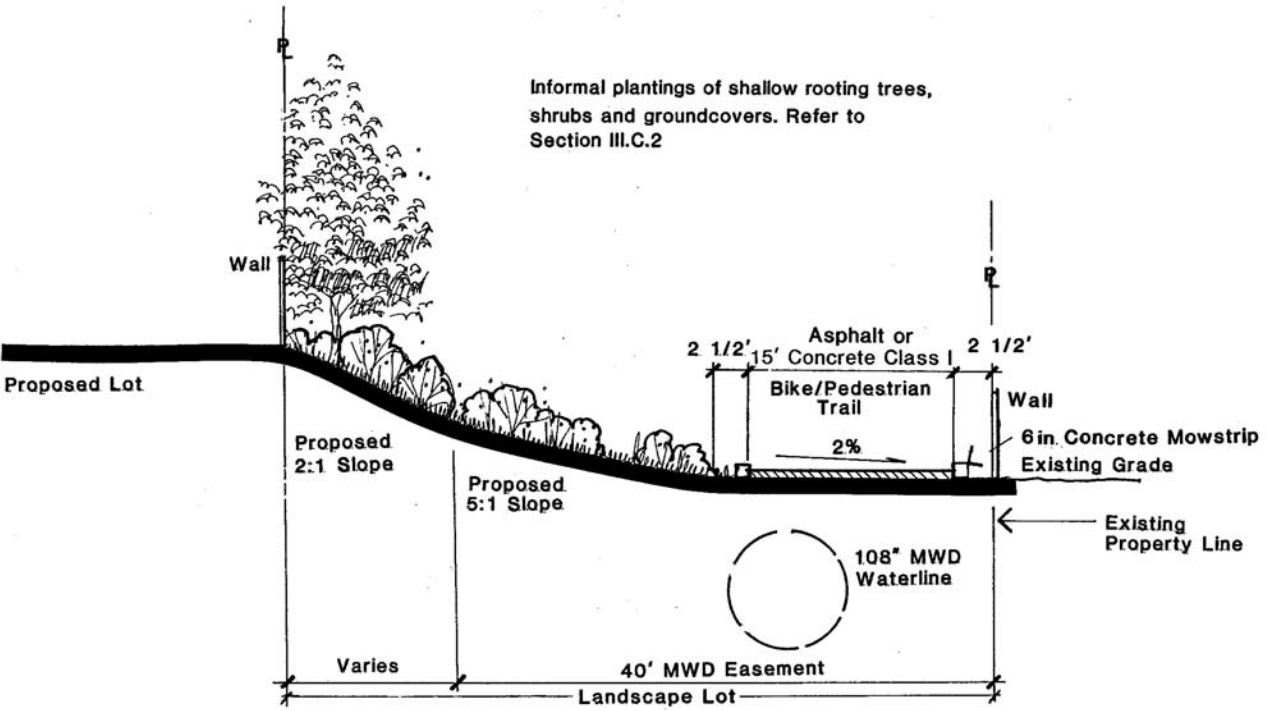


EXHIBIT 7

- (e) Slopes less than five (5) feet in height shall be no steeper than 2:1 (horizontal to vertical). Slopes exceeding five (5) feet in height shall be no steeper than 3:1 (horizontal to vertical) in accordance with the “Landscape Maintenance District Formation and Design Guidelines” adopted by the City of Corona.
  - (f) Surface runoff within the MWD easement/bike trail element shall be accommodated in accordance with MWD and City of Corona requirements and shall be directed into storm drain/collection systems in the local streets within the residential tract.
  - (g) Lighting of the bike trail shall be one-quarter foot candle per square foot, minimum maintained at ground level. Light standards shall be no more than 15 feet in height with vandal resistant covers.
  - (h) Lights shall be spaced to provide complete coverage and eliminate “dark” areas.
  - (i) Directional light fixtures shall be utilized to shield the light and avoid spillage into adjacent residential areas.
  - (j) Light standards shall be located away from fences, walls, benches or other structures in order to minimize vandalism.
  - (k) Trees and shrubs shall not interfere with the lighting.
  - (l) Direct access by way of gates or other means from the rears of lots abutting the easement shall not be permitted.
  - (m) Emergency vehicle access shall be provided into the bike trail at locations where streets intersect the MWD easement.
  - (n) Automatic devices to control lighting along the length of the bike trail shall be provided and maintained in the Landscape Maintenance District.
- (2) Todd Ranch Road (Refer to Exhibit 13)
- (a) A Class I bikeway shall be incorporated into the northerly parkway. This bikeway shall be a minimum of eight feet.

b. Class II Bikeway

(1) Lincoln Avenue (Refer to Exhibit 11)

- (a) An eight-foot Class II bikeway shall be included on Lincoln Avenue in both directions on that street, subject to the approval of the Corona City Council.

IV.C.3. Bicycle Trail Design Guidelines

- a. The bikeway system within the Todd Ranch achieves the goals and objectives of the CFP by providing linkages through the subject property. These linkages will support the master planned system of bicycle trails, ultimately providing a connection to the regional trails system (e.g., Santa Ana River, etc.).
- b. Design criteria regarding speed, alignment, stopping sight distance, vertical curves, structural sections and security shall be the basis for final design of the bicycle trails which will be constructed within the Todd Ranch.

#### IV.D. Fence and Wall Standards

##### IV.D.1. Purpose and Intent

A hierarchy of fences and wall shall be designed achieve: (1) project identity and continuity maintenance, privacy, security and aesthetics types are offered as alternatives (refer to location of the walls/fences is illustrated on

##### IV.D.2. Fence and Wall Development Standards.

###### a. Perimeter Wall

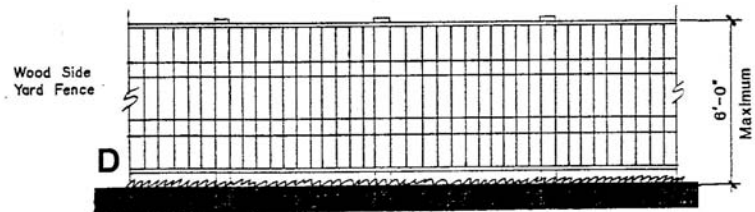
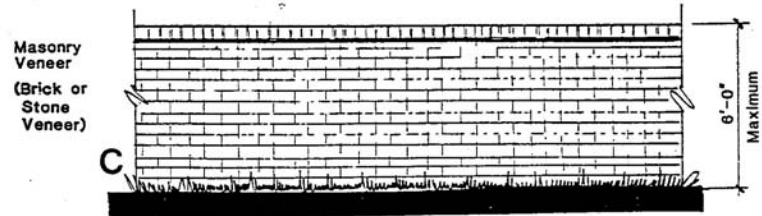
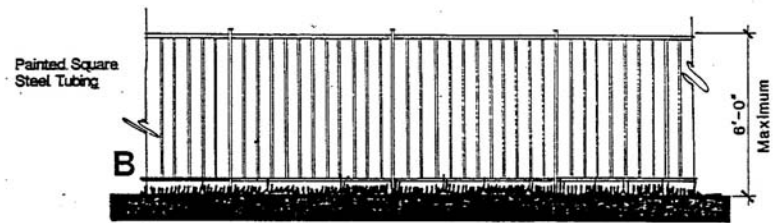
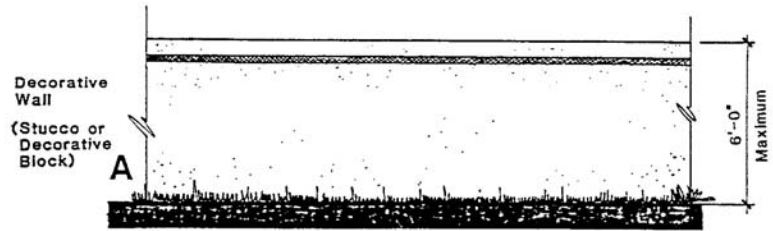
- (1) The Project Theme wall is located along the project perimeter where the sides and rears of lots are adjacent to arterial roadways, along the MWD easement, and where Todd Ranch abuts adjacent property.
- (2) Project Theme walls will be up to 6 feet high and will be constructed of decorative block, stucco or painted tubular steel. Elevations A and C on Exhibit 8 illustrate “typical” perimeter wall alternatives. Elevation B or a combination of B with A or C above may be used where view opportunities exist.

###### b. Interior Rear and Side Yard Walls and Fences

- (1) These walls and fences occur between lots at the side and rear yards.
- (2) Block walls and fences will be up to 6 feet high.
- (3) View fences (Elevation B on Exhibit 8) will occur at the rear and side yards of lots where finished grades provide view opportunities. These fences shall be up to 6 feet high of painted tubular steel.
- (4) Wood fences (Elevation D on Exhibit 8) will occur between lots at the side and rear yards. These walls shall be 6 feet high maximum.
- (5) These walls and fences shall not extend on the side beyond the furthest extension of the house or within the front yard setback. Three foot walls will be permitted to extend to and along the property line.
- (6) Pilasters shall be provided as determined necessary for walls, but at least one at each property line.



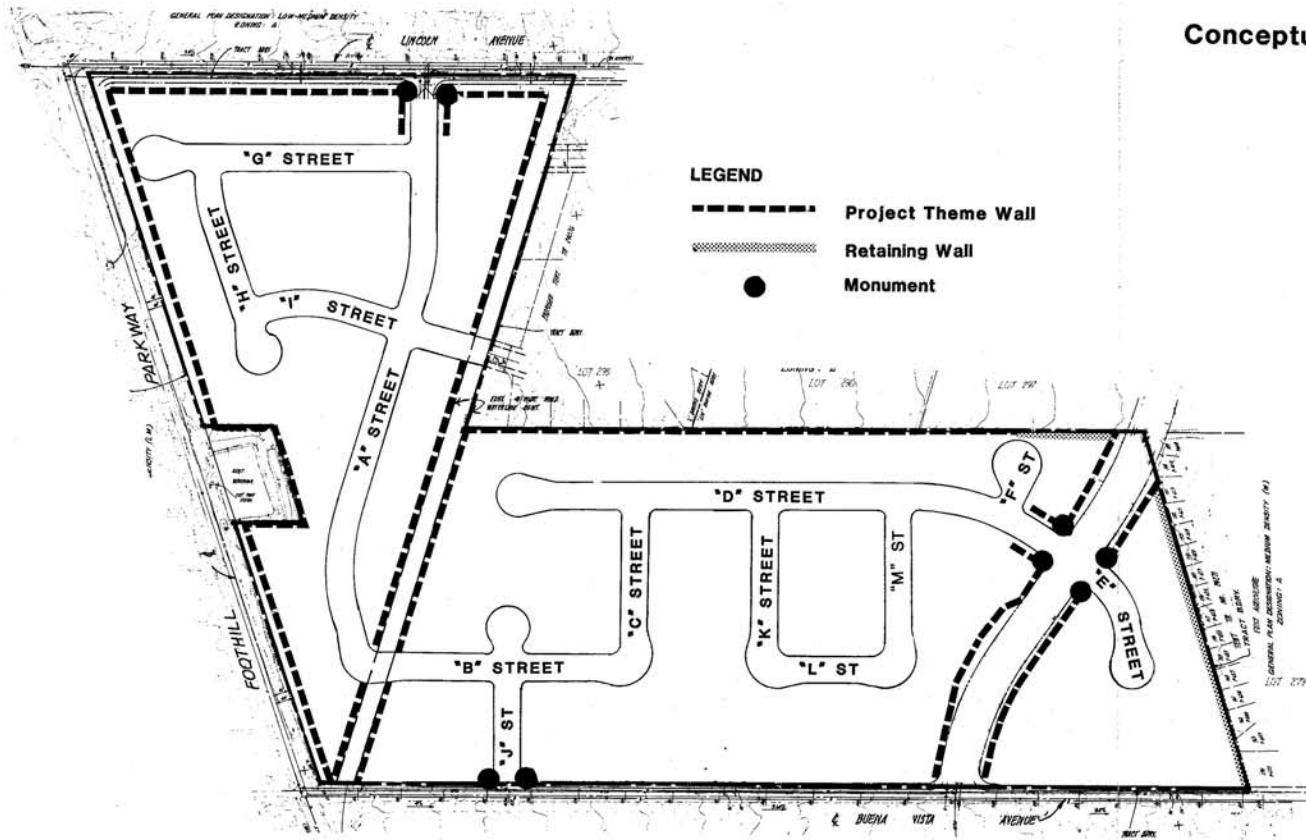
Typical Wall/Fence Elevations



TODD RANCH

EXHIBIT 8

*Rev 2/14/14*



**Conceptual Fence and Wall Plan**

**TODD RANCH SPECIFIC PLAN**



c. Monumentation

- (1) Project monuments (refer to Exhibit 10) will be strategically located at entrances into the Todd Ranch (refer to Exhibit 9).
- (2) Wall heights of project monuments will range from three (3) to six (6) feet in height, depending on site distance and other factors. Final location shall be subject to the approval of the City Engineer.
- (3) These features may be block walls with stucco or masonry veneer of brick, rock, stone, or other compatible material as conceptually illustrated on Exhibit 8.
- (4) Lettering used on the monuments shall be of low maintenance, non-corrosive and vandal resistant materials.

Conceptual Monumentation

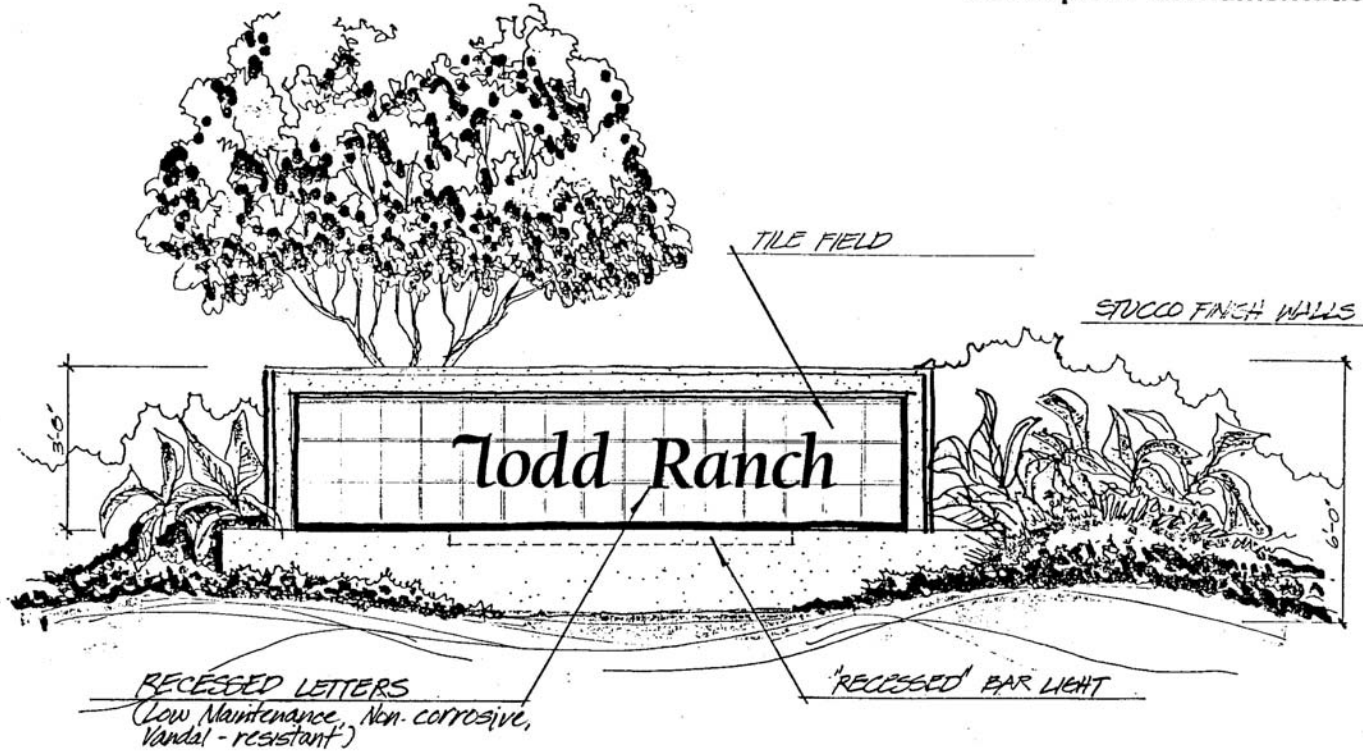


EXHIBIT 10

TODD RANCH

#### IV. E. Parkway Landscape Standards

##### IV.E.1. Purpose and Intent

The parkway landscape standards will provide a sense of community identity and will create a transition development and open space. The TRSP will draw on the design criteria as set forth in the CFP. Funding for purchase and improvement of parkways and related landscaping will be provided as noted in Chapter V.F.

##### IV.E.2. Parkway Development Standards

###### a. Lincoln Avenue (Refer to Exhibit 11)

###### (1) Street Trees

(a) *Tristania conferta* planted in a formal alignment 40-feet on center (o.c.).

###### (2) Landscape Lots

(a) Village theme trees (*Cupaniopsis anacardioides*) planted 40-feet o.c. off-set from Street trees.

(b) *Eucalyptus sideroxylon* (Rosea) shall be planted on the manufactured slope along the project edge to integrate the residential development with the surrounding community.

###### b. Foothill Parkway (Refer to Exhibit 12)

###### (1) Streetscape

(a) *Jacaranda mimosifolia* shall be planted in a formally aligned treatment at 40-feet o.c.

###### (2) Median

(a) *Washingtonia filifera* shall be planted in a formal alignment.

###### (3) Landscape Lots

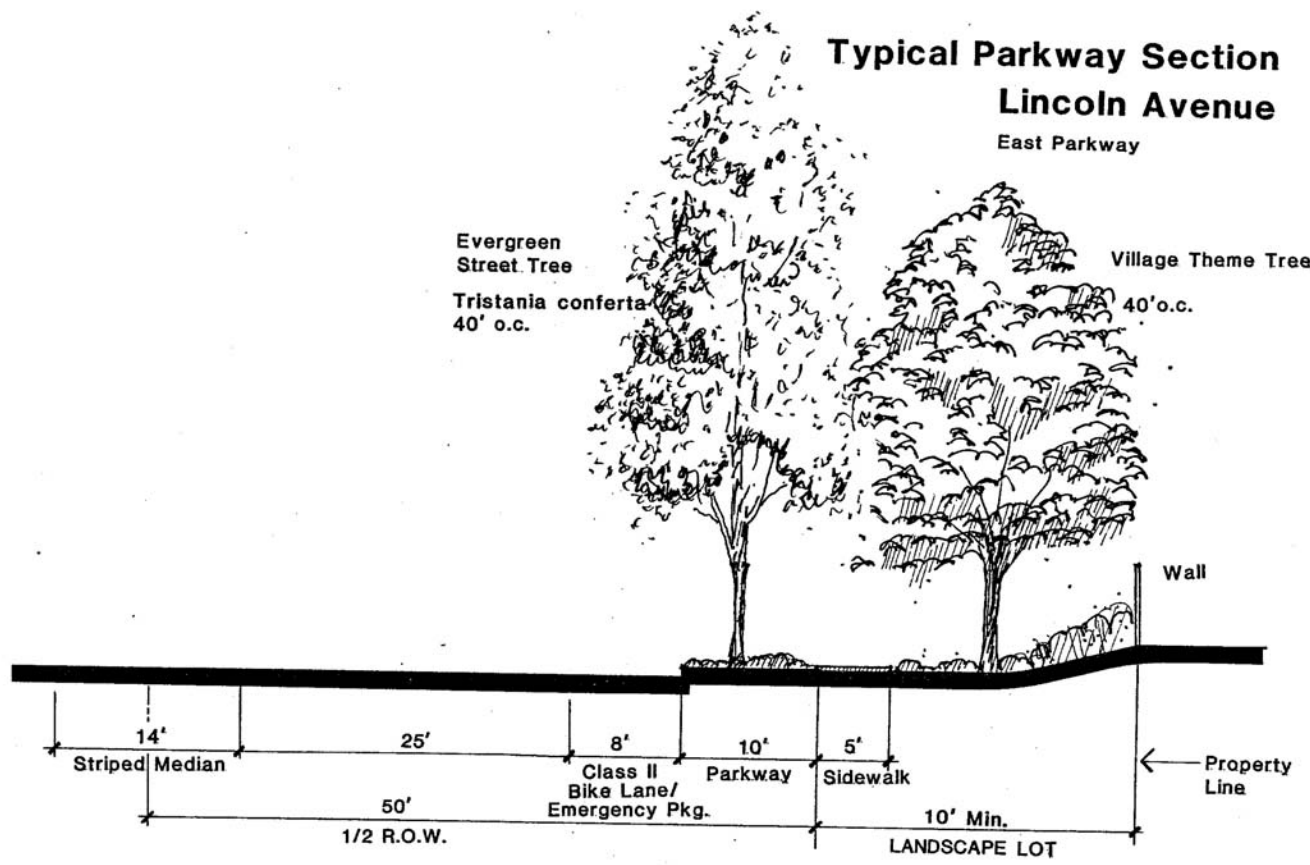
(a) Village theme trees (*Platanus acerifolia*) shall be planted in informal groupings. Spacing shall vary from 10 to 40-feet o.c. in accordance with the CFP.

###### c. Todd Ranch Road (Refer to Exhibit 13)

###### (1) Street Trees

# Typical Parkway Section Lincoln Avenue

East Parkway



# Typical Parkway Section Foothill Parkway

Northerly parkway

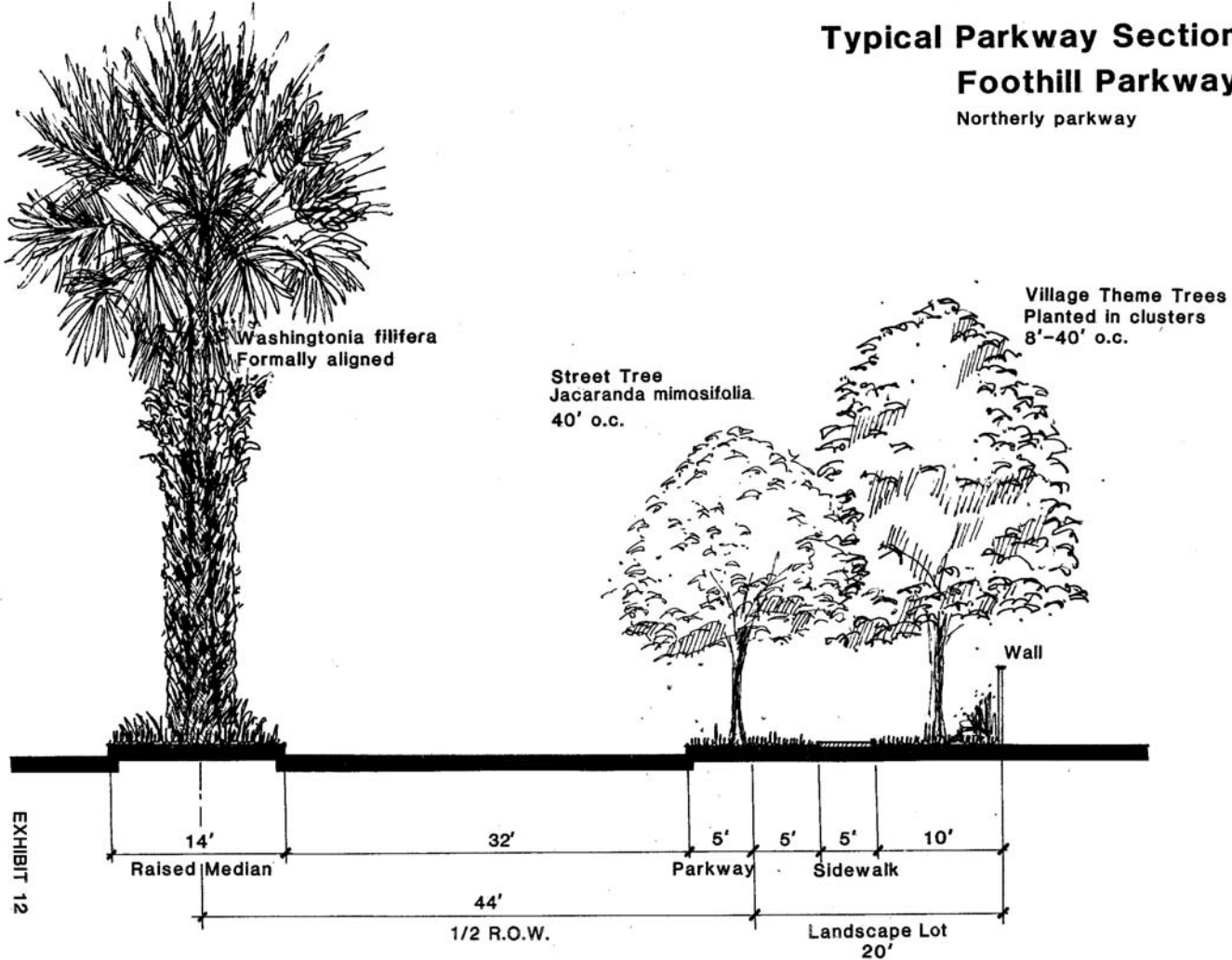


EXHIBIT 12

**Typical Parkway Section  
Todd Ranch Road**

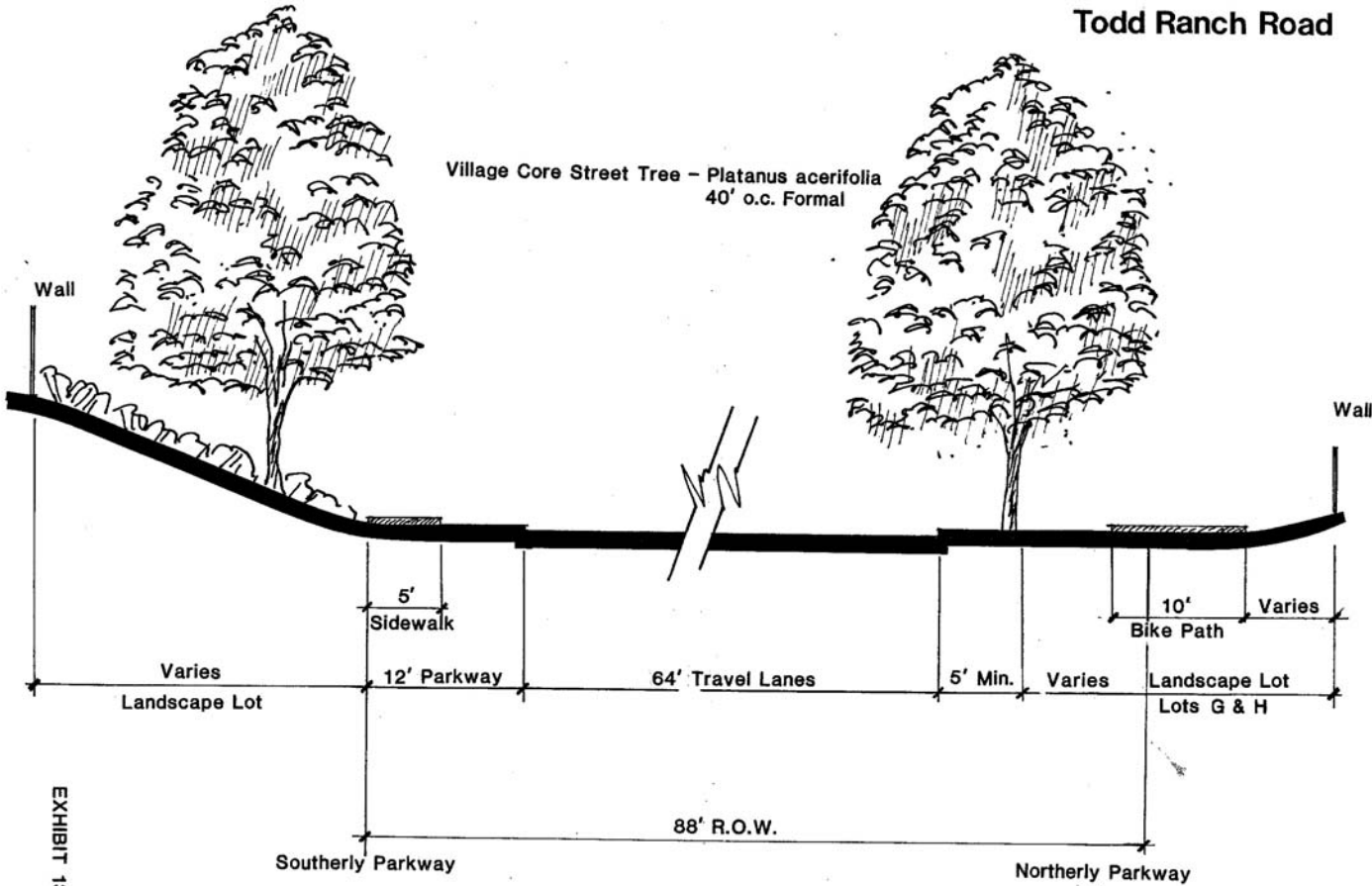


EXHIBIT 13



- (a) Pinus pinea shall be planted in a formal alignment 40-feet o.c. along the northerly parkway and in the landscape lot.
  - (b) Koelreuteria paniculata shall be planted on the southerly parkway in a formal alignment at 40 feet o.c. The southerly landscape lot shall be planted with trees subject to the approval of the Director of Parks and Recreation.
- d. Buena Vista Avenue
- (1) Street Trees
    - (a) Cercis occidentalis shall be formally aligned at 40-feet o.c.
- e. Residential Streets
- (1) Street trees shall be selected from the plant palette identified below.
    - Brachychiton populneus
    - Cupaniopsis anacardioides
    - Eucalyptus polyanthemos
    - Eucalyptus sideroxylon 'Rosea'
    - Malaleuca leucadendra
    - Franxinus velutina
    - Jacaranda acutifolia
    - Lagerstroemia indica
    - Metrosideros excelsus
    - Platanus acerifolia
- f. Shrub and Ground Covers in LMD Lots
- (1) Ground covers in the LMD lots and medians shall be drought tolerant species characterized by compact growth, not exceeding 12 inches in height.
  - (2) A plant list will be submitted to the Park Planning Division/Park and Recreation Department for review and approval prior to issuance of buildings permits.

#### IV.E.3. Parkway Design Guidelines

- a. In order to achieve a uniform landscape theme within the Todd Ranch, and one which is consistent with the South Corona CFP, the areas within the street medians, parkways, and landscape lots shall have an established landscape materials palette consistent with the South Corona CFP and the TRSP.

## **V. SPECIFIC PLAN IMPLEMENTATION**

Although the Todd Ranch development will be implemented through a variety of approval steps (i.e., tentative tract maps, etc.) the primary implementation tool is the TRSP itself which establishes the character of the development through the definition of certain design concepts and plan features in the Land Use Development Plan (Chapter IV Development Standards). The TRSP will be implemented as described below.

### **V.A. Zoning**

Rezoning of the Todd Ranch property will be necessary to bring the zoning classification into conformance with the Land Use Development Plan (refer to Chapter IV) adopted as part of the TRSP (which has been established by the CFP).

The appropriate zoning classification (S-P) for the property shall be adopted. A change of zone from Agriculture (A) to Specific Plan (S-P) will take effect with the adoption of this plan by the City Council. The TRSP incorporates the development regulations of Chapters 16 and 17 of the Corona Municipal Code, except where specifically modified by this document.

### **V.B. Tentative Tract Map**

Through the tentative tract map process, site specific planning will be reviewed for consistency with the TRSP. A tentative tract map shall be processed in accordance with Chapter 16.12 and 17.102 of the City of Corona Municipal Code.

### **V.C. Final Tract Maps**

All Final Tract Maps prepared for the Todd Ranch shall be prepared in accordance with all provisions of Chapter 16.16 of the Corona Municipal Code.

### **V.D. Specific Plan Amendments**

Amendments to the TRSP shall be processed in accordance with the provisions of Title 7, Division 1, Chapter 3, and Article 9 of the California Government Code, except as modified below. The following changes to the TRSP may be made, as approved by the Community Development Director, without amending the Plan:

1. The addition of new information to the TRSP maps or text that does not substantially change the development of Todd Ranch.
2. Minor modifications to the Development Standards (Chapter IV)

The following changes to the TRSP will require a Specific Plan Amendment:

1. Increase (not transfer) in dwelling unit allocation beyond the specified total number of dwelling units (i.e., 184) adopted for the 57-acre Todd Ranch property.
2. Major changes in the designated alignment or location of the backbone infrastructure system.
3. Major modifications to the Development Standards (Chapter IV).

Prior to approval of a Specific Plan Amendment, the following findings shall be made:

1. The amendment is consistent with the City of Corona General Plan and South Corona Community Facilities Plan.
2. The amendment is consistent with the intent of the Todd Ranch Specific Plan.
3. The amendment is consistent with and achieves the village concept.
4. Adequate circulation to and from as well as within the area is maintained.
5. Public service levels, capable of adequately serving the Specific Plan area are provided.

#### V.E. Infrastructure Plan and Phasing Adjustments

The phasing plan described herein may be modified subject to the approval of the Board of Zoning Adjustment.

The Board of Zoning Adjustment shall have the authority to hear and decide applications for modifications to the infrastructure phasing plans. The Board shall be required to make the following findings:

1. That the modification is consistent with the General Plan;
2. That the proposed changes will not adversely affect the implementation of the specific plan or the CFP;
3. That it will not be detrimental to the public health, safety, and general welfare; and

4. That the proposed modification will not delay the construction of master planned improvements necessary to serve the development.

#### V.F. Financing Plan

Financing of infrastructure (i.e., roadways, sewers, water mains, and storm drains) will be necessary for both on-and off-site improvements. On-site facilities consist of local street, sewers, water mains, storm drains and landscaping while off-site improvements are those identified in the CFP. These facilities consist of master planned roadways, major sewer and water mains, and flood control/storm drain features.

On-site facilities identified above will be financed internally by the developer or through construction loans. Funds for purchase and improvement of on-site master planned roadways (refer to Exhibit 6), if obtained by the developer, shall be credited to master planned road fees, and any excess expenditure of funds over credits applied to road fees shall be reimbursed by the City when these funds become available, as set forth in the City funding program for South Corona in accordance with Resolution 89-24 and Ordinance 1944.

Off-site master planned/community infrastructure facilities shall be financed through the funding derived from the creation of a Mello-Roos Improvement District created by the South Corona Developers' Consortium. Once established, bonds will be issued and funds collected and utilized to construct the needed off-site roadways, sewers, water facilities and storm drains determined to be necessary to develop the Todd Ranch. Off-site facilities have been identified in the Chapter III (Project Phasing).

Should a Mello-Roos Improvement District and/or another funding mechanism not be implemented to provide funding necessary to construct the off-site backbone infrastructure facilities identified in the CFP, such off-site facilities shall be provided by the developer to ensure that adequate infrastructure and public facilities and services are in place to serve future residents of the Todd Ranch.