

EAGLE GLEN SPECIFIC PLAN

SP-90-6

SUBMITTED TO:

CITY OF CORONA

SUBMITTED BY:

CORONA COUNTRY CLUB ESTATES, L.L.C.
3750 BEDFORD CANYON ROAD
CORONA, CA 91719
(909) 738-8610

CONTACT PERSON:

Gene Shutt

PREPARED BY:

FORMA
17500 Red Hill Avenue, Suite 100
Irvine, CA 92614
(949) 660-1900

CONTACT:

Craig Hoffman

Original City Council Approval:

October 2, 1991

Amended:

April 7, 1993

November 5, 1997

June 17, 1998

October, 1998

July 5, 2000

December 5, 2001

September 11, 2006

PRIOR PROJECT APPROVALS (SP-90-6)

CASE NO.	COUNCIL APPROVAL	DESCRIPTION/APPLICANT
SCH 89070306	October 2, 1991 Certification	Environmental Impact Report for Annexation #76, General Plan Amendment GPA-90-19, Prezone CZ-90-28, and Specific Plan SP-90-6.
Annexation #76 LAFCO 91-66-2	October 2, 1991 Recorded: March 10,1997	Request for annexation into the City of Corona of 1,135.4 acres of unincorporated land in the County of Riverside.
GPA-90-19	October 2, 1991	General Plan Amendment to amend the Land Use and Circulation Elements of the General Plan to incorporate the land uses described by the Land Use Plan of the Mission Crest Specific Plan.
SP-90-6	October 2, 1991	Approval of the Mission Crest Specific Plan which establishes land use and development standards for 2,892 dwelling units, commercial development, and school and park sites, on a 973.5 acre site.
SPA-93-01	April 7, 1993	Amendment to Section 5.8 Commercial District Permitted Uses Addition of Church Interim Use (Applicant: City of Corona)
Pre-Annexation Agreement	December 6, 1995 Amended: October 1997	Agreement to process an Amended Specific Plan, which shall include 1,095 dwelling units, an 18-hole golf course with meeting/banquet facilities, a sports park, a pedestrian trail system, a commercial site, and an elementary school site, on approximately 973.5-acre site.
CUP-97-01	April 2,1997	Conditional Use Permit Approval for grading of golf course and Eagle Glen Parkway.

CASE NO.	COUNCIL APPROVAL	DESCRIPTION/APPLICANT
SPA-97-01	November 5, 1997	Amendment to change name to Eagle Glen Specific Plan and allow 1,086 single-family detached homes in neighborhoods having minimum lot sizes of 7,200 sq. ft. or 9,600 sq. ft.
GPA-98-1	June 17, 1998 Resolution #98-50	General Plan Amendment to add 7.3 acres to the Land Use Element per Annexation #93.
SPA-98-1	June 17, 1998	Amendment to add 7.3 acres of Annexation #93, add SF-3 to allow single-family detached condominiums and transfer density within residential areas.
GPA-00-001	June 21, 2000 Resolution #2000-64	General Plan Amendment to relocate a portion of the Open Space Designation and extension of the Low Density Residential designated areas.
SPA-00-003	July 5, 2000	Amendment to add 156 acres of property located to the northwest within Specific Plan Area.
CFPA-00-001	June 21, 2000	Adjustment of boundary to be conterminous within Specific Plan boundary.
SPA01-010	December 5, 2001	Amendment to add 0.8 acres located at the northwest corner of Eagle Glen Parkway and Interstate 15 and designates such acreage as Commercial and amendment to the development standards.
SPA06-006	September 11, 2006	Amendment to permit with a minor conditional use permit and establish regulations for tobacco stores and smoking lounges in the Commercial district of the specific plan.

CASE NO.	COUNCIL APPROVAL	DESCRIPTION/APPLICANT
GPA-98-1	June 17, 1998 Resolution #98-50	General Plan Amendment to add 7.3 acres to the Land Use Element per Annexation #93
SPA-98-1	June 17, 1998	Amendment to add 7.3 acres of Annexation #93, add SF-3 to allow single-family detached condominiums and transfer density within residential areas.
GPA-00-002	June 21, 2000 Resolution #2000-64	General Plan Amendment to relocate a portion of the Open Space Designation and extension of the Low Density Residential designated areas.
SPA-00-003	July 5, 2000	Amendment to add 156 acres of property located to the northwest within Specific Plan Area.
CFPA-00-001	June 21, 2000	Adjustment of boundary to be conterminous within Specific Plan boundary.
SPA01-010	December 5, 2001	Amendment to add 0.8 acres located at the northwest corner of Eagle Glen Parkway and Interstate 15 and designate such acreage as Commercial and amendment to the development standards.

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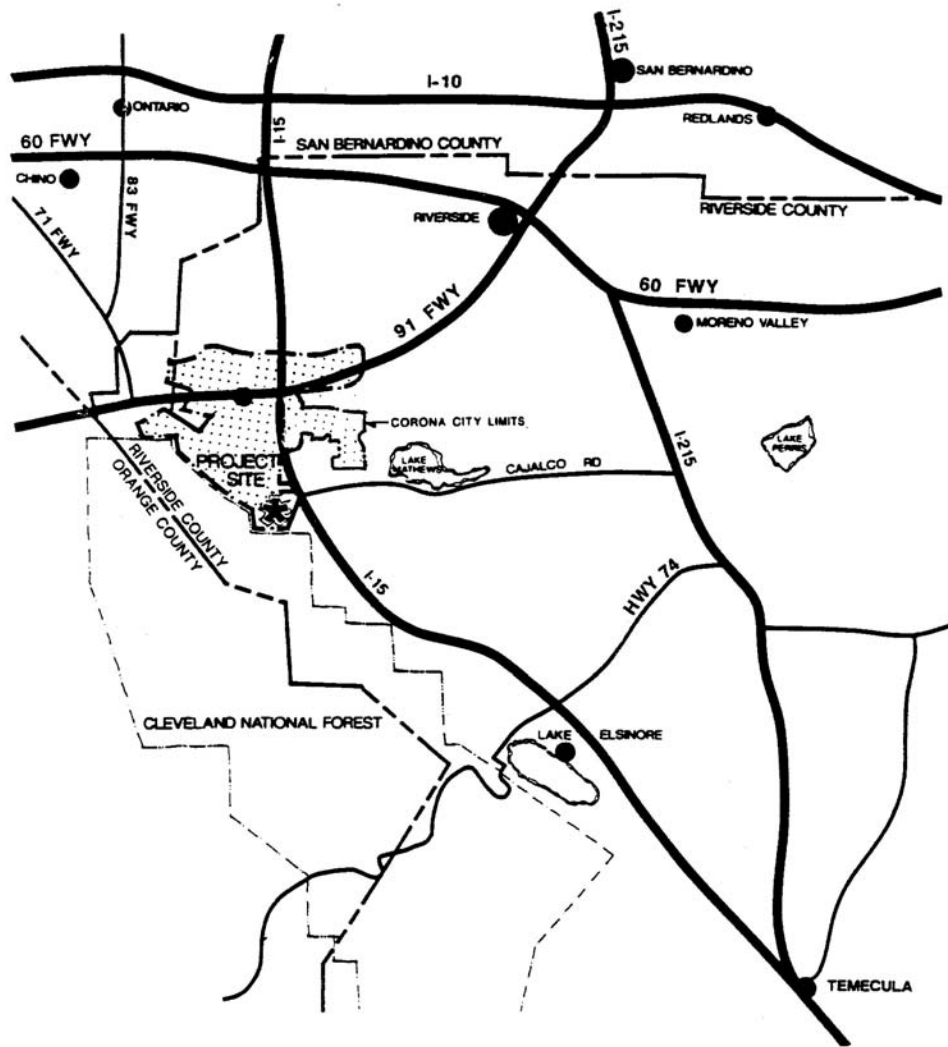
SECTION 1: INTRODUCTION

The Eagle Glen Specific Plan provides the City of Corona with a set of plans; regulations and guidelines to create a quality planned residential community through the orderly development of the site. The Specific Plan envisions the creation of an amenity- and family-oriented community that will provide a variety of up-scale housing opportunities for the residents of Corona. It thereby assists in the systematic implementation of the City General Plan with regard to this area. The development of this Specific Plan was driven by a pre-annexation agreement. This agreement between the City of Corona and the applicant provides certainty to both parties as to an overall development framework for the Eagle Glen property. The agreement details specific development criteria for residential lot sizes, public facility requirements, and certain recreational amenities.

1.1 PROJECT LOCATION

Eagle Glen is situated in the northwestern portion of Riverside County, adjacent to Interstate 15 (Corona Freeway) and south of the SR 91 / 1-15 freeway interchange, as shown on Exhibits 1-1 and 1-2. The Eagle Glen site is located southerly of the downtown area within the city limits of the City of Corona in the Bedford Canyon area.

The project site is in a rural setting, roughly bounded by 1-15 to the northeast, Cleveland National Forest to the west and south, and the unincorporated County area to the southeast. Bedford Canyon Road terminates at the site's northeastern boundary.



SPECIFIC PLAN

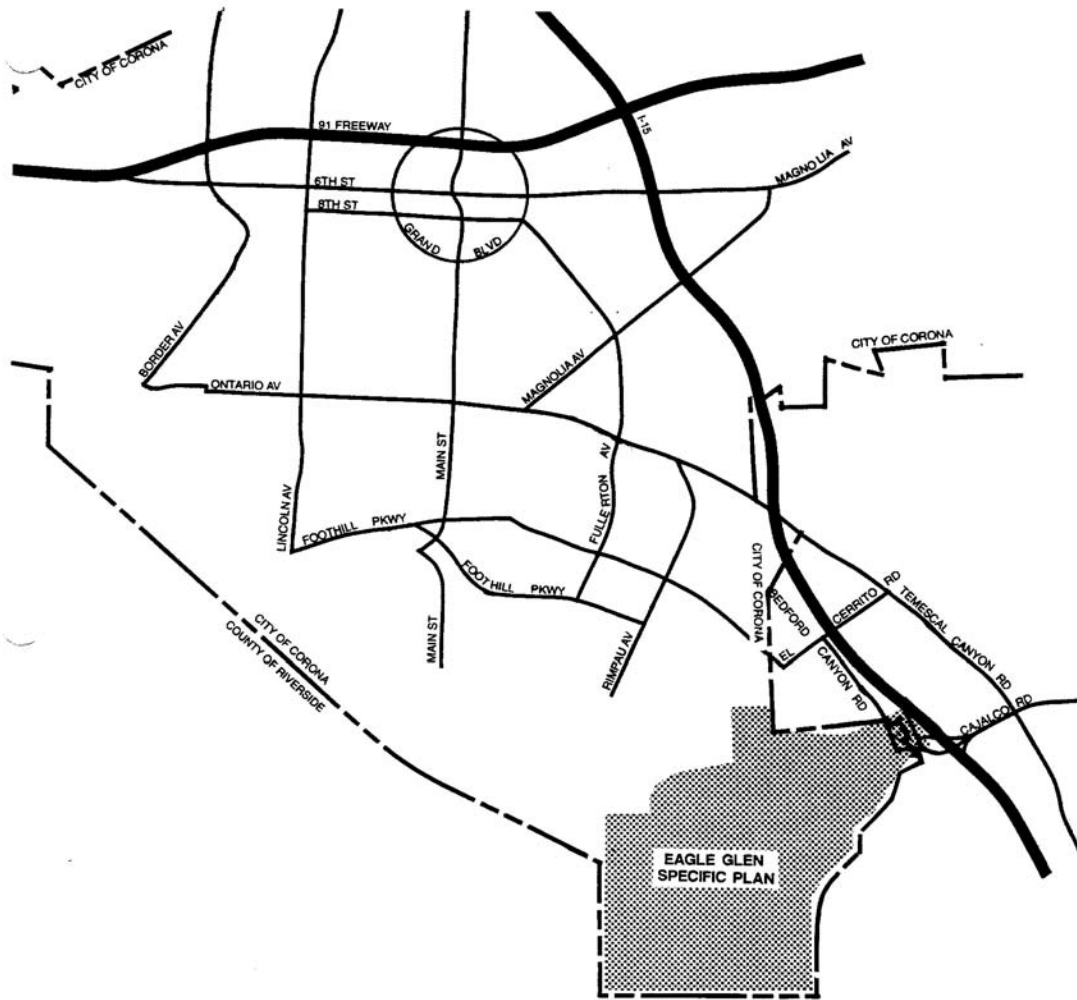
Eagle Glen

EXHIBIT 1-1
REGIONAL LOCATION

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.
 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788



N.T.S.



SPECIFIC PLAN

Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.
 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

**EXHIBIT 1-2
 LOCAL VICINITY**



N.T.S.

SECTION 1: INTRODUCTION

1.2 PROJECT OVERVIEW

The Eagle Glen site encompasses portions of the lower northeast slope of the foothills of the Santa Ana Mountains, the southern portion of an alluvial fan created by the Bedford Canyon Wash, and an elevated alluvial terrace northwest of the Bedford Wash. The alluvial fan in the southern portion of the Site gently slopes to the northeast. Joseph Canyon Wash is located along the northern boundaries of the project area. There are intermittent drainages through Bedford Canyon and Joseph Canyon during the rainy season, which flows to the northeast and eventually feeds into the Santa Ana River north of the site. Elevations of the Eagle Glen site range between 900 and 2,300 feet above sea level.

The western portion of the site is dominated by undeveloped hillsides. The eastern half of the site at one time was dominated by citrus orchards. The site was impacted by the fires in the Bedford Canyon area which occurred during the summer of 1990; virtually all vegetation on the site was destroyed with the exception of the citrus orchards which were later removed. The site is bounded on the north by agricultural uses, suburban residential and rural residential areas; on the east by Bedford Canyon Wash and orchards; and on the south and west by the Cleveland National Forest. Access to the site is currently via a paved access road from Bedford Canyon Road and Newton Street.

The Eagle Glen Specific Plan provides the City of Corona with regulations and guidelines to create a planned residential community consisting of a variety of residential opportunities, with gross densities ranging from approximately 1.2 DU/Ac. to 4.2 DU/Ac. The residential component of the Eagle Glen community consists of 1,443 single-family residential units, with the future opportunity for up to 118 additional Estate Residential lots (requires Specific Plan Amendment) for a total of 1,561 dwelling units. The Eagle Glen Specific Plan includes a variety of single-family residential lots, ranging from single-family detached condominium homes to ½-acre estate lots. The highest residential development densities are located in the central area of the site adjacent to the golf course and Eagle Glen Parkway. Residential densities decrease to about 2.4 dwelling units per acre in the northwestern neighborhoods. The half-acre estate lot area is located in the foothills of the southwest portion of the site.

Residential lots will fall into the following land use districts:

- Hillside Reserve Area (HR) - Estate Residential lots having minimum areas of ½ acre in the higher elevations (requires Specific Plan Amendment).
- SF-1 - Low Density Single-Family Residential lots with minimum lot sizes of 9,600 sq. ft. (Planning Areas 1-4) and 8,400 sq. ft. (Planning Area 5).
- SF-2 - Low Density Single-Family Residential lots with minimum lot sizes of 7,200 sq. ft.
- SF-3 - Low Density Single-Family Detached Condominiums.

SECTION 1: INTRODUCTION

Other land uses described by the Specific Plan include an 18-hole golf course, with a practice, range and clubhouse facilities with a meeting/banquet room capable of seating 400 persons, a sports park, a neighborhood park, an elementary school site, a commercial center, a domestic water storage facility, a water pumping and pressure reducing facility, a communications facility, a temporary sand mine which will eventually be replaced by residential development, and a vehicular and pedestrian circulation system linking the residential areas of the 1,137-acre project.

The original Specific Plan area, along with property to the north of the site, was approved for annexation to the City of Corona as Annexation #76, by the Riverside Local Agency Formation Commission on February 27, 1992. The property was annexed to the City of Corona on March 10, 1997. In 1998, SPA 98-1, included the 7.3-acre Cajalco Road Extension, which was annexed from the unincorporated area of Riverside County to the City of Corona as Annexation #93. In 2000, SPA-00-003, provided for an additional 156 acres to be added to the Specific Plan area.

1.3 AUTHORITY AND SCOPE

The California Government Code authorizes cities to adopt Specific Plans by resolution as policy or by Ordinance as regulation. The City of Corona adopts Specific Plans and amends Specific Plans by Ordinance per Chapter 17 of the City of Corona Municipal Code. Public hearings by both the Planning Commission and the City Council are required, after which the Specific Plan must be adopted by the City Council.

The adoption of the Eagle Glen Specific Plan by the City of Corona is authorized by the California Government Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457. As set forth by the Government Code and the City of Corona Municipal Code, Chapter 17, Specific Plans must contain the information outlined below in either text and/or exhibits. References to the location of this information within the Eagle Glen Specific Plan are shown in **bold**.

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan. **(Section 3)**
- The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan. **(Section 3)**
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources where applicable. **(Section 4)**

SECTION 1: INTRODUCTION

- A program of implementation measures including regulations, public works projects, and financing measures necessary to carry out the above items. **(Section 6)**
- A statement of the relationship of the specific plan to the general plan. **(Section 7)**

The Eagle Glen Specific Plan serves both a planning function and a regulatory function. It is the device which implements the Corona General Plan on this property. The plan contains all applicable land use regulations and constitutes the zoning for the Eagle Glen property; the development standards contained in the Specific Plan will take precedence over any other provisions of the Municipal Code. (Municipal Code Section 17.53.010)

1.4 PURPOSE OF THE SPECIFIC PLAN

Development of the Eagle Glen property will be achieved through the adoption and implementation of this Specific Plan which will serve as the comprehensive development control document for the project. The Specific Plan establishes the type, location, intensity, character of development, and the required infrastructure for development of the proposed Planned Community.

The Eagle Glen Specific Plan has been prepared for the project site pursuant to the 1995 Pre Annexation Agreement, as amended in October, 1997. It accommodates the unique planning opportunities related to providing a quality development of needed housing and amenities for the City of Corona, while preserving and integrating open space, and working with site constraints such as seismic faults, the Joseph Canyon Wash and the Bedford Canyon Wash. The Specific Plan requires development to respond to the physical constraints of the site, coordinate the mix of residential densities and product types and provide adequate facilities for circulation, waste water treatment, and commercial needs. It also meets the City's recreational needs by incorporating a sports park, a neighborhood park, golf course, clubhouse and banquet facilities. Conventional zoning would not allow the flexibility that a Specific Plan does in preparing a development plan for Eagle Glen which respects the site's constraints as well as enhances its potential opportunities.

The Eagle Glen Specific Plan avoids land use or density conflicts through attention to physical design. It avoids conflicting with the natural terrain by providing open space areas and landscape buffers.

The Eagle Glen Specific Plan is a regulatory plan which will serve as the zoning ordinance for this property. Proposed development plans or agreements, tentative tract maps or parcel maps and any other development approval must be consistent with this Specific Plan. If there is a conflict found between this Specific Plan and other provisions the City's Zoning Ordinance, the contents of this Specific Plan shall prevail.

SECTION 1: INTRODUCTION

1.5 RELATIONSHIP OF THE SPECIFIC PLAN TO THE GENERAL PLAN

Pursuant to California Government Code Section 65454, a specific plan shall be consistent with the local jurisdiction's general plan. The Eagle Glen Specific Plan provides regulations, guidelines, and standards that are consistent with and implement the goals and policies of the City of Corona General Plan and South Corona Community Facilities Plan (CFP). Consistency with both the City's General Plan and the South Corona Community Facilities Plan are demonstrated in Section 7. Eagle Glen components which are found to be consistent with the Specific Plan shall be deemed consistent with the General Plan.

1.6 CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

The original Mission Crest Specific Plan (SP-90-6) was approved in conjunction with a certified Environmental Impact Report (EIR) which addressed all environmental aspects of the site. The current amended Eagle Glen Specific Plan is accompanied by additional environmental review which addresses the impacts of the changes from the original Mission Crest Specific Plan project EIR. This environmental review is in conformance with the most recently adopted guidelines of the State of California and the City of Corona.

This environmental review is also applicable to future residential development projects (Precise Plans, Tentative Tract Maps, etc.) which are processed in conformance with this Specific Plan, thus requiring no further environmental documentation except as noted in Sections 15182 and 15162 of the State Guidelines to CEQA.

1.7 SEVERABILITY

If any provision of this Specific Plan or the application thereof to any persons or circumstances is held invalid, such invalidity shall not effect other provisions or applications of this Specific Plan which can be given effect without the invalid provisions or application thereof, and to this end the provisions of this Specific Plan are severable.

1.8 EFFECT ON CONFLICTING PROVISIONS

Whenever the provisions of this Specific Plan permit greater flexibility than, or establish regulations different than those imposed or required by the Corona Municipal Code, the provisions of this Specific Plan shall prevail.

SECTION 2: EXISTING CONDITIONS

2.1 LAND USE

The Eagle Glen site is generally located along the foothills of the eastern side of the Santa Ana Mountains. Approximately one half of the Eagle Glen site, the western side, exists as undeveloped hillsides containing native California chaparral. The eastern half of the property was, until recently, in citrus orchard production under a California Land Conservation Act agricultural preserve contract. A Notice of Non-Renewal was filed in 1987 resulting in the property being removed from its agricultural preserve status in 1997. In accordance with these regulations, the affected property must be removed from the contract before non-compatible land uses of the property are allowed and prior to final subdivision map approval. The affected parcel numbers are listed below:

279-190-007-1	282-040-002-5	282-020-002-4	279-190-003-7
279-180-006-9	282-030-002-4	279-190-004-8	

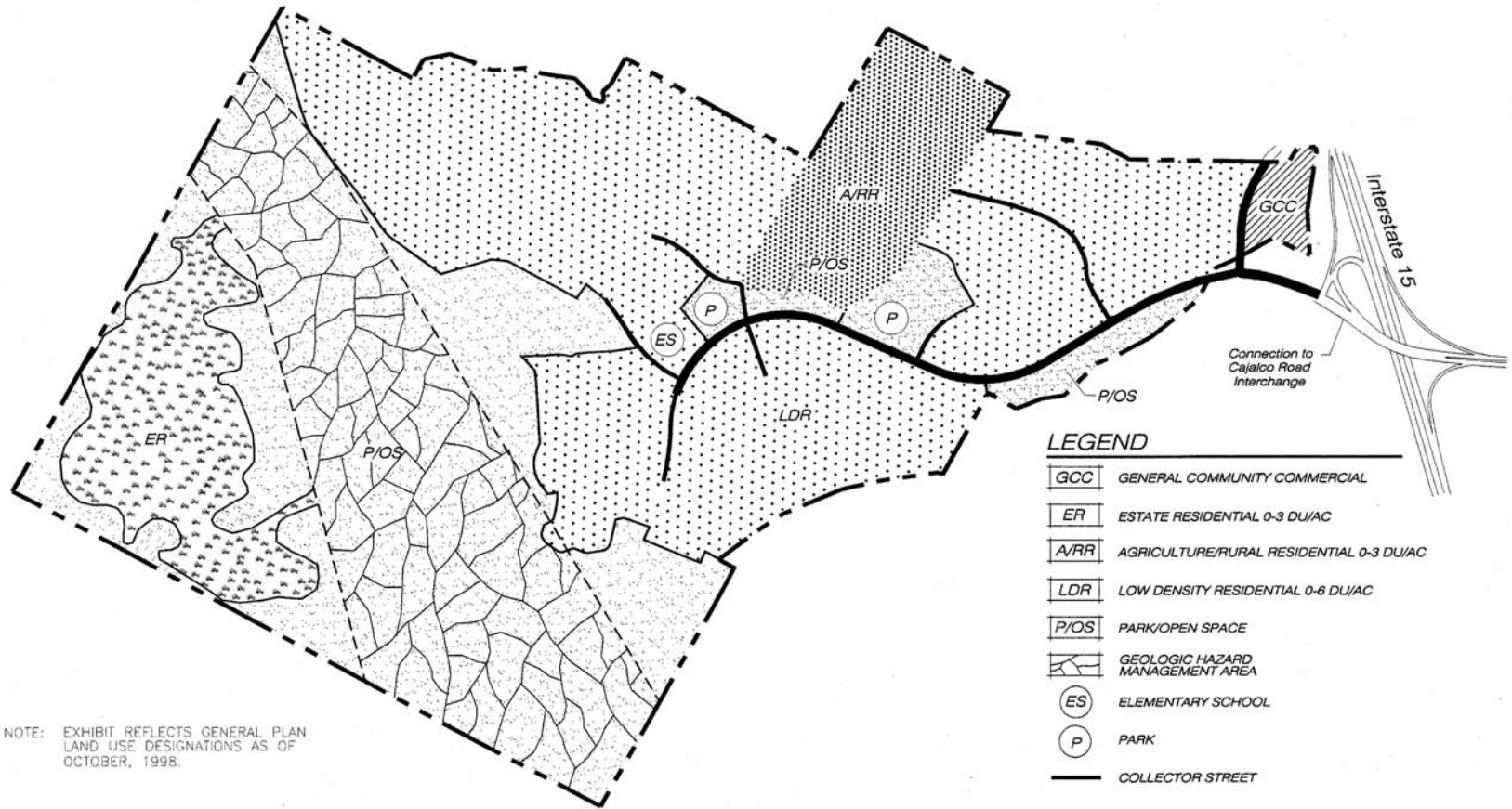
Intermittent natural drainage ways traverse the site, flowing into the Bedford Canyon Wash and Joseph Canyon Wash, and eventually into the Santa Ana River. Two reservoirs and a number of wells previously served the orchard facilities on the lower areas of the property. The site also contains a two-lane paved road which links Bedford Canyon Road with existing and destroyed ranch buildings.

The majority of the site was previously located in unincorporated Riverside County and within the City of Corona's Sphere of Influence. Annexation #76, which was recorded March 10, 1997, brought the Eagle Glen property and intervening property to the north within the city's corporate boundary. The 1998 Specific Plan Amendment allowed for the incorporation of an additional 7.3 acres into the Specific Plan area. The new acreage was annexed to the City of Corona from the unincorporated area of Riverside County as Annexation #93. The Specific Plan Amendment processed in the year 2000 added approximately 156 acres into the Eagle Glen Specific Plan area for residential purposes.

2.2 GENERAL PLAN

2.2.1 CITY OF CORONA GENERAL PLAN

Prior to the approval of the Eagle Glen Specific Plan, the General Plan land use designations for the property were based on the original Mission Crest Specific Plan (SP-90-6) approved by the Corona City Council on October 2, 1991. The original Mission Crest Specific Plan allowed for 2,892 dwelling units and included a mixture of single-family detached homes, single-family attached homes, condominiums and apartments. The plan also provided for a neighborhood commercial center, a freeway commercial center, a membership recreation facility, a community park a neighborhood park, open space and a potential future estate area. The existing General Plan land use designations for Eagle Glen are shown on Exhibit 2-1. They include Estate Residential (0-3du/ac), Low Density Residential (0-6du/ac), Parks & Open Space, General/Community Commercial, and an overlay designation of Geologic Hazard Management Area for the Alquist Priolo Special Study area.



NOTE: EXHIBIT REFLECTS GENERAL PLAN LAND USE DESIGNATIONS AS OF OCTOBER, 1998.

LEGEND

	GENERAL COMMUNITY COMMERCIAL
	ESTATE RESIDENTIAL 0-3 DU/AC
	AGRICULTURE/RURAL RESIDENTIAL 0-3 DU/AC
	LOW DENSITY RESIDENTIAL 0-6 DU/AC
	PARK/OPEN SPACE
	GEOLOGIC HAZARD MANAGEMENT AREA
	ELEMENTARY SCHOOL
	PARK
	COLLECTOR STREET
	SECONDARY ARTERIAL

SPECIFIC PLAN
Eagle Glen

City of Corona, California
 CORONA COUNTRY CLUB ESTATES, L.L.C.
 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 2-1
 EXISTING GENERAL PLAN DESIGNATIONS



SECTION 2: EXISTING CONDITIONS

General Plan designations for property to the north of Eagle Glen within the City of Corona include Estate Residential and Low Density Residential. General Plan designations to the east of Eagle Glen include Estate Residential, General Community Commercial, Light Industrial and General Industrial.

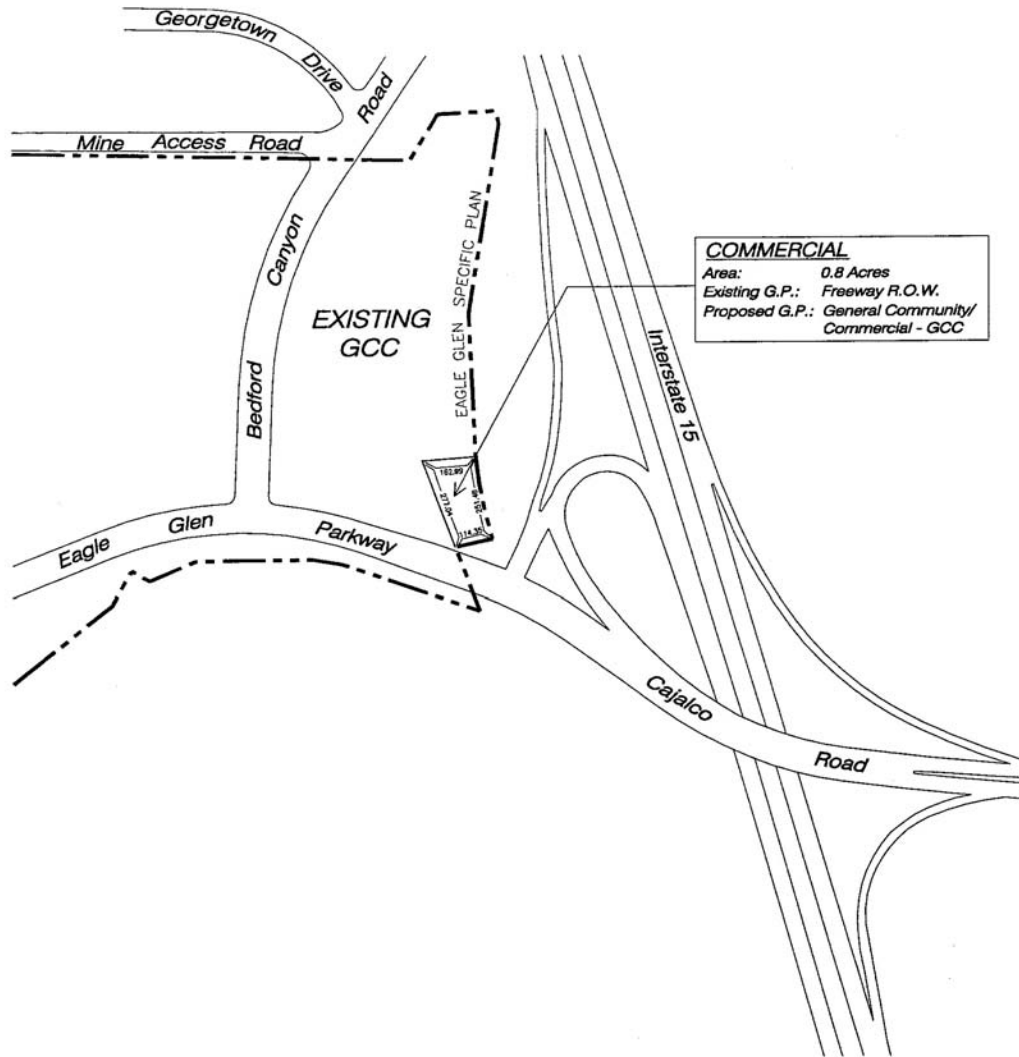
A General Plan Amendment was required in conjunction with the approval of the Eagle Glen Specific Plan to ensure consistency between the Eagle Glen Land Use Plan and City of Corona General Plan. The High, Medium, and Low-Medium Density Residential designations were deleted from the General Plan, with the other designations reconfigured, to coincide with the land use areas of the Eagle Glen Land Use Plan.

In 1998, General Plan Amendment GPA 98-1 was required in conjunction with SPA 98-1. This General Plan Amendment reflected the extensions of the Parks and Open Space, Low Density Residential, and General/Community Commercial designations into the Annexation #93 area.

Specific Plan Amendment SPA-00-003, in 2000, provided for an additional 156 acres located to the northwest to be included in the Specific Plan area. General Plan Amendment GPA-00-002, allowed for the relocation of a portion of the Open Space designation and the extension of the Low Density Residential designation into the added Specific Plan area, as illustrated by Exhibit 2-2.

2.2.2 COUNTY OF RIVERSIDE GENERAL PLAN

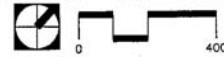
According to the County of Riverside's General Plan, the unincorporated lands to the south and southeast of Eagle Glen are included in the Temescal/El Cerrito Community Plan. The Community Plan was adopted by the Riverside County Board of Supervisors on December 10, 1991. Adjacent land use categories include: AG, Agricultural; SP, Specific Plan; Residential, 5-acre minimum; OS, Open Space; and MT, Mountainous Area, 10-acre minimum. Two adjacent areas to the south and west are located in the unincorporated area, but are not a part of the Temescal/El Cerrito Community Plan. Those areas are designated for Category III residential land uses. Category III is characterized by more rural land uses including residential densities between 2 DU/acre and 1 DU/5 acres. The unincorporated area to the west of Eagle Glen all lies within the Cleveland National Forest.

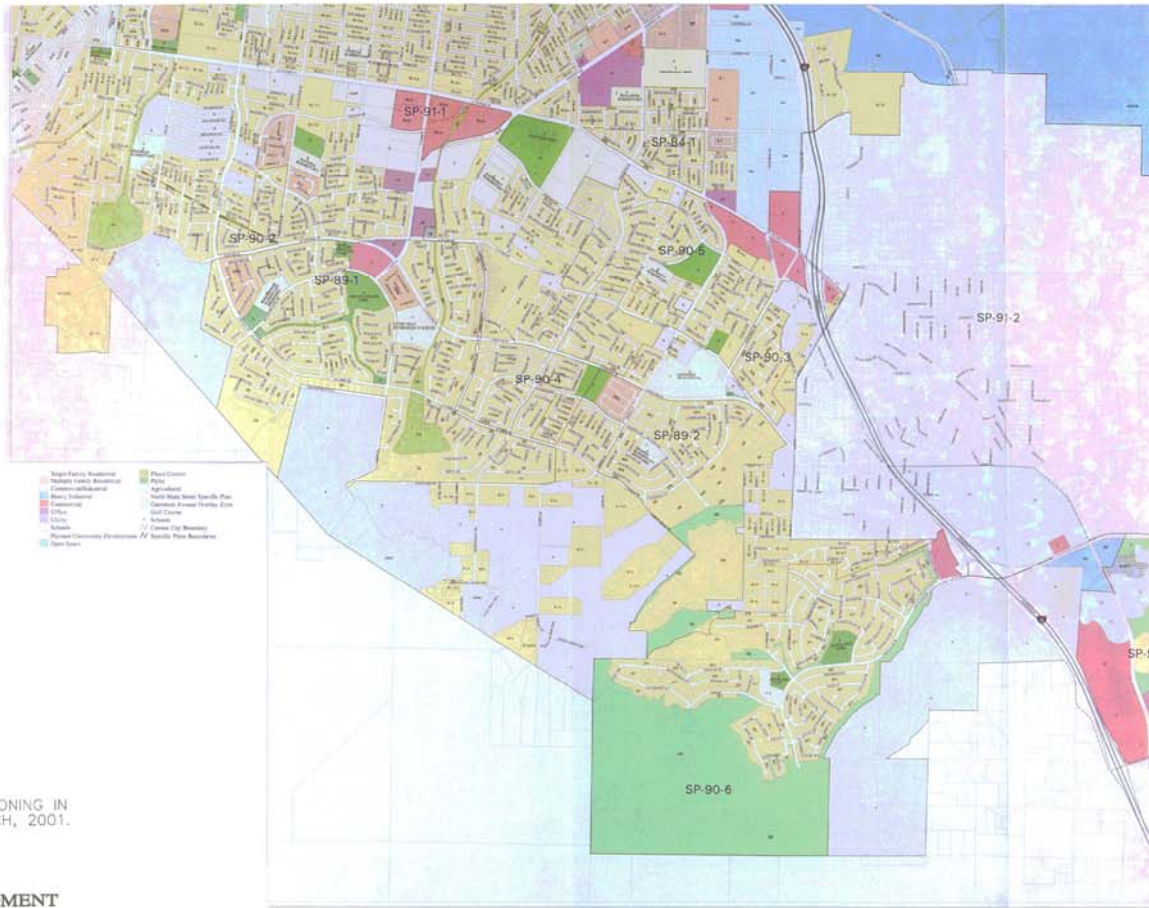


SPECIFIC PLAN AMENDMENT

Eagle Glen

EXHIBIT 2-2
**GENERAL PLAN
 AMENDMENT 01-004**





NOTE: EXHIBIT REFLECTS ZONING IN EFFECT AS OF MARCH, 2001.

SPECIFIC PLAN AMENDMENT

Eagle Glen

City of Corona, California
 CORONA COUNTRY CLUB ESTATES, L.L.C.
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EXHIBIT 2-3
 EXISTING CITY/COUNTY ZONING

NOT TO SCALE
 forms/eagle-glen/spa-01-06/zone-to.dwg

SECTION 2: EXISTING CONDITIONS

2.3 ZONING

2.3.1 CITY OF CORONA ZONING

The zoning of the Eagle Glen site, prior to the effective date of Specific Plan Amendments SPA 90-6 and SPA-00-003, is shown on Exhibit 2-3. Current project area zoning includes: HR, Hillside Reserve Area; SF1, Single Family 1; SF2, Single Family 2; O-OS, Open Space; O-GC, Golf Course; and C, General Commercial. Prior to the most recent Specific Plan Amendment, the sand mine site was zoned A (MR), Agricultural with a Mineral Resource overlay. The City of Corona Zoning Ordinance designates the lands adjacent to the project site as Agricultural (A), and Single-Family Residential (R-1A, R-1-14.4, R-1-8.4 and R-1-7.2).

Specific Plan Amendment 98-01 added a new land use category, SF-3, Single Family 3, for single family detached condominiums and extended the SF-2, O-OS and C land use categories into the Cajalco Road Extension area (Annexation #93).

In 2000, SPA-00-003 extended the SF-1 and O-OS categories into the new SPA area and established planning areas for the SF-1 designation.

2.3.2 COUNTY OF RIVERSIDE ZONING

Unincorporated Riverside County land within the Cleveland National Forest to the west and south of Eagle Glen is zoned W-2, Controlled Development. The W-2 zone has a minimum lot size which varies from less than one acre to more than one acre. When the gross area of a lot in the W-2 zone is between 20,000 square feet and one acre, the uses permitted in the residential R-1 zone apply. When the lot size is greater than one acre, uses allowed in the agricultural A-1 zone are permitted. The remainder of the unincorporated properties to the south and east of Eagle Glen, within Riverside County, are zoned Light Agricultural (A-1-10), allowing a residential density of up to one du/ten acres.

2.4 SOUTH CORONA COMMUNITY FACILITIES PLAN (CFP)

The City of Corona has developed a Community Facilities Plan for the South Corona area. The Eagle Glen site immediately abuts and is within Planning Area No. 442 of the CFP; this area has been designated as Estate (E), with densities ranging between 0 and 3du/ac with a target density of 2.79du/ac. The Eagle Glen project is in compliance with the CFP and is discussed in terms of its relationship to the goals of the South Corona CFP in Section 7.10.

SECTION 2: EXISTING CONDITIONS

2.5 SURROUNDING LAND USES

The surrounding area includes urban residential developments such as Jasmine Ridge/Deer Ridge and Jasmine Springs, located contiguous with the northeast portion of the site. Additionally, rural residential areas are adjacent to the west of the site.

Several large-scale planned communities of mixed residential, commercial, and open space/recreational facilities have been approved for development within the South Corona area, including: Foothill Ranch, Chase Ranch, and Corona Vista. All of these projects are in the vicinity of the Eagle Glen site.

Development of the Eagle Glen site is a logical extension of the current growth pattern along the Temescal Valley.

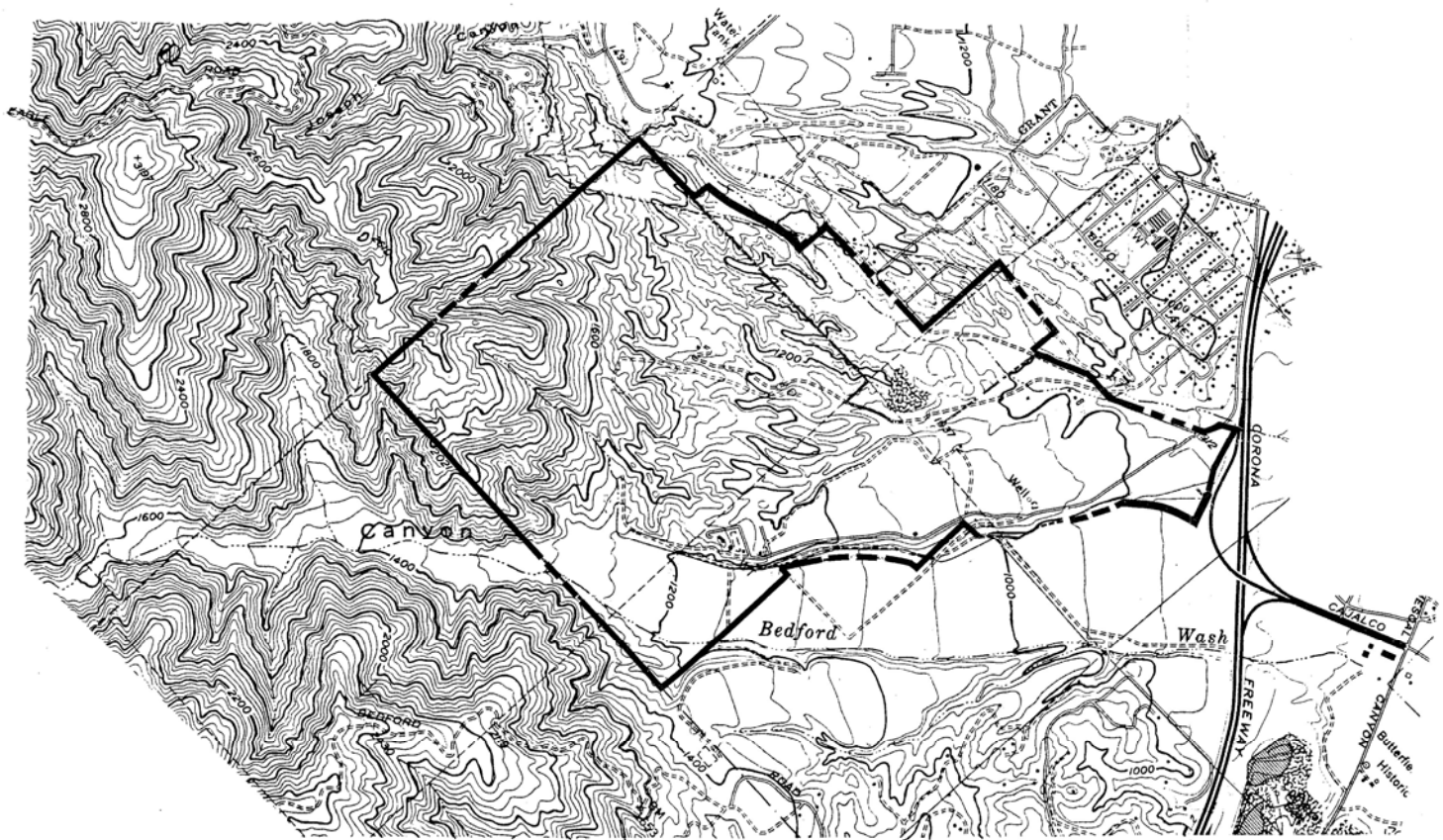
2.6 TOPOGRAPHY

The site lies at the base of the Santa Ana Mountains on eroded alluvial fan deposits that extend from the base of the mountains northeastward forming a series of ridges and valleys. These ridges and valleys have been offset by northwest-trending faults in the central and western portions of the site. Further west and southwest, the terrain becomes mountainous with landslides and faulting influencing the local topography. The northeastern and eastern portion of the site lies on the relatively flat, younger, alluvial terraces of Bedford Canyon. The northern portion of the site is located within the Joseph Canyon Wash.

Exhibit 2-4, Site Topography, shows the site and its relationship to the surrounding area. As seen on this exhibit, elevations range from approximately 900 feet above sea level along the northeastern corner of the property, to nearly 2,300 feet above sea level in the southwestern portion of the site. The foothills of the Santa Ana Mountains rising from the site immediately to the west, reach elevations from 3,197 to over 4,000 feet along the ridgeline.

This mountainous topography off the site, to the west, effectively serves as the backdrop for the Eagle Glen site, as shown on Exhibit 2-4.

Exhibit 2-5, Slope Analysis, reveals that slopes greater than 25% are found predominantly in the southwest portion of the site. This exhibit serves as the basis for determining the location of the Hillside Overlay District, described in Section 3.5. The natural slopes in the northwest corner of the property have been further modified by many erosional gullies and channels. The actual overall slope on the property will be discussed further in Section 3.5, Grading Concept.

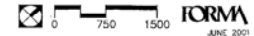


SPECIFIC PLAN AMENDMENT

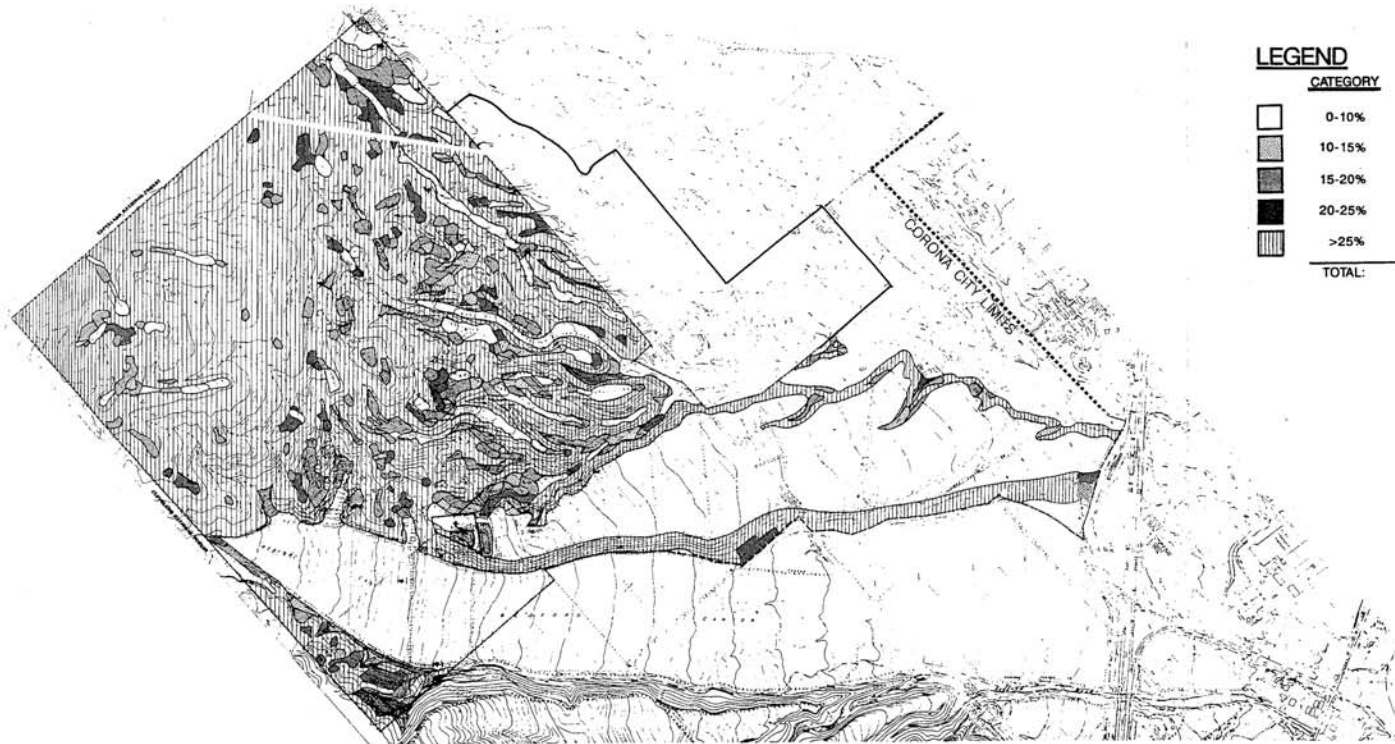
Eagle Glen

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EXHIBIT 2-4
 SITE TOPOGRAPHY



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LEGEND

CATEGORY	ACREAGE	% OF AREA	
	0-10%	321.5	32%
	10-15%	15.6	2%
	15-20%	75.3	8%
	20-25%	28.4	3%
	>25%	532.7	55%
TOTAL:		973.5	100%

SPECIFIC PLAN AMENDMENT

Eagle Glen

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EXHIBIT 2-5
SLOPE ANALYSIS

 **FORMA**
JUNE 2001
 forma/eagle-glen/spa-01-06/11x17/01e.dwg

SECTION 2: EXISTING CONDITIONS

2.7 SOILS/GEOLOGY

The geologic aspects of the project area are illustrated on Exhibit 2-6. Geologically, the site can be divided into three portions. The south and southwest portions of the site are underlain by Jurassic-age basement rock that includes metasedimentary rocks of the Bedford Canyon Formation and Santiago Peak Volcanics. The central, hilly portion of the site is underlain by moderately-indurated Tertiary sedimentary rocks of the Silverado, Puente and Fernando Formations. These rock units generally consist of sandstone, siltstone and clay stone. Faults in this area truncate Pleistocene and younger alluvial fan deposits and the Tertiary sediments. The alluvial fan deposits consist primarily of sandy gravel and gravelly clayey sand mixed in with cobbles of volcanic and metavolcanic origin. The northern and eastern portions of the site are also underlain by less dissected alluvial fan deposits, and locally by sandstone of the Fernando Formation.

Soils on the site vary depending on the parent material and slope. The steeper areas have very little soil development, with bedrock generally less than one foot below the ground surface. Soils developed on the older alluvial fan deposits may be as much as three feet deep. Soils developed from the Bedford Canyon, Santiago Peak Volcanics, Silverado, and Fernando Formations, and from the sandy units of the Puente Formation generally have very low expansion potential. Soils developed from the siltstone and clay stone units of the Puente Formation and from the older alluvial fan deposits generally exhibit a low to moderate expansion potential. Small areas with soils exhibiting a very high expansion potential do occur locally. Soil conditions present no significant constraints for development.

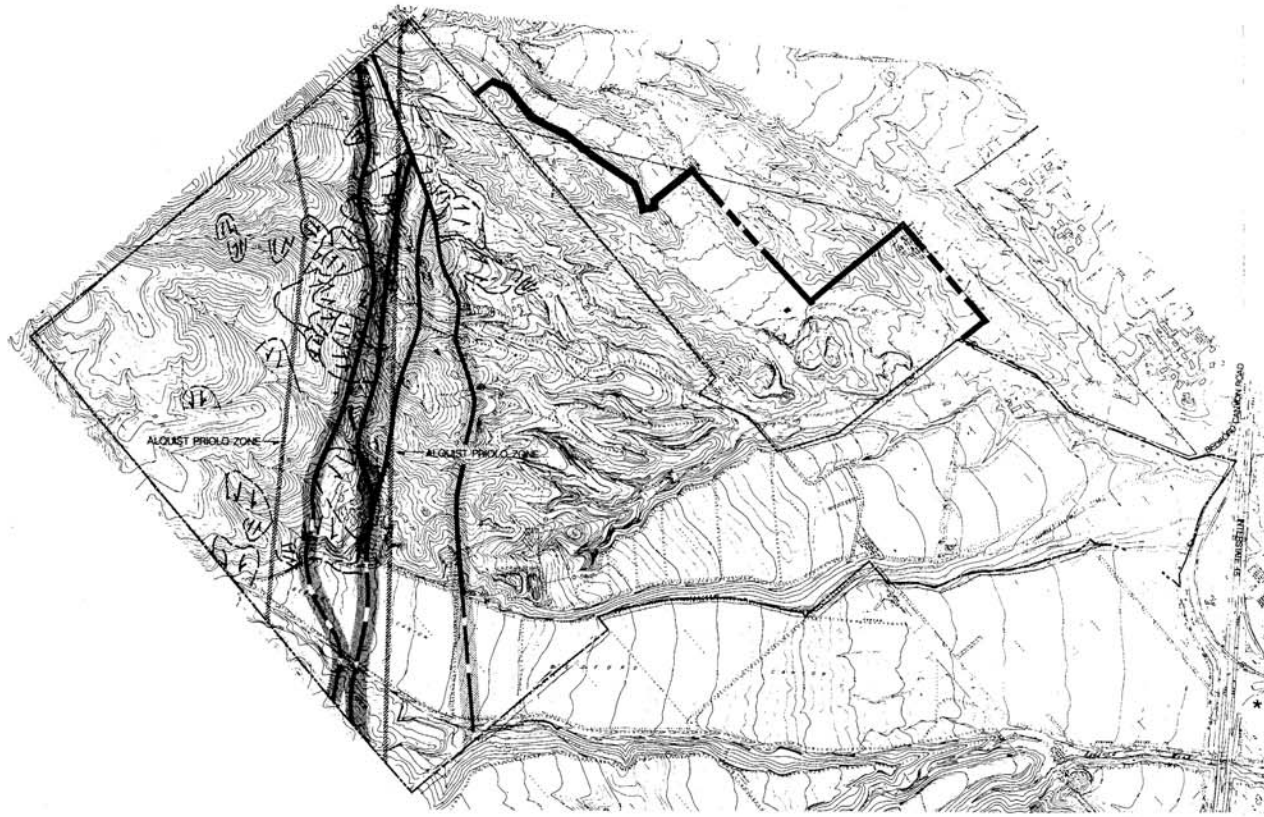
Leighton and Associates prepared a Pre-Tentative Tract Geotechnical Investigation for the Eagle Glen property, dated June 22, 1990. A subsequent up-date letter was prepared by Leighton and Associates, dated August 14, 1996.

Additional project-related geotechnical investigations conducted by Geosoils, Inc., include:

- Debris Basin Design Parameters, Tract No. 28476, February 1997
- Geotechnical Review of Conditional Use Permit Rough Grading Plan, Tract No. 28476, March 1997
- Summary of Grading Standard Modifications, Eagle Glen Golf Course, April 1997
- Revised Preliminary Design Parameters, Reservoir Site, Tract No. 28476
- Response to Review of Alquist-Priolo Earthquake Fault Zone, Tentative Tract No. 28476, May 1997





SECTION 2: EXISTING CONDITIONS

- Addendum to Geotechnical Study, Alluvial Areas/Northeast Site Perimeters, Eagle Glen Development, June 1997
- Revised Limited Preliminary Earthwork Construction Parameters, Portion of Proposed Cajalco Road Onramp to North-Bound Interstate Highway 15, October 1997



GEOLOGY

LEGEND

-  APPROXIMATE ACTIVE FAULT LOCATION
DOTTED WHERE BURIED
-  ALQUIST-PRIOLO ZONE BOUNDARY
-  LANDSLIDE AREA
-  SET-BACK ZONES *
100' FROM APPROXIMATE ACTIVE FAULTS
-  SET BACK ZONE *
75' FROM APPROXIMATE ACTIVE FAULTS

NOTE: All active faults require setbacks as determined by Geotechnical Engineer.

* THE RECOMMENDED SETBACK DISTANCES MAY BE REDUCED TO 50' ON EITHER SIDE OF THE FAULT IF, DURING GRADING, THEIR TRACES CAN BE PRECISELY DELINEATED.

SPECIFIC PLAN AMENDMENT

Eagle Glen

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EXHIBIT 2-6
GEOLOGY

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SECTION 2: EXISTING CONDITIONS

2.8 SEISMICITY

The main trace and associated splays of the active Elsinore-Whittier Fault system cross the westerly portion of the project site, and an Alquist-Priolo Special Studies Zone has been defined along this fault system. At least two active faults within the site have been recognized during the preliminary geotechnical investigations. Several other probable active and inactive splays have also been tentatively mapped. Extensive trenching has been carried out to locate the fault traces, and in order to establish the required building setback areas along the active faults.

As is the case throughout Southern California, the project site is located in a region of generally high seismicity. The site has the potential to experience moderate to high ground shaking during a seismic event. Surface rupture along the trace of the Elsinore fault may occur, therefore, development areas within the active fault zone will require specific standard setbacks. Design considerations for secondary seismic hazards, such as liquefaction, lateral spreading and seismic-triggered landslides or rockslides will also be considered. The liquefaction potential of the alluvial sediments is considered low due to the depth to groundwater, and because of the heterogeneous nature of the deposits, ranging from clay to sizable boulders.

SECTION 2: EXISTING CONDITIONS

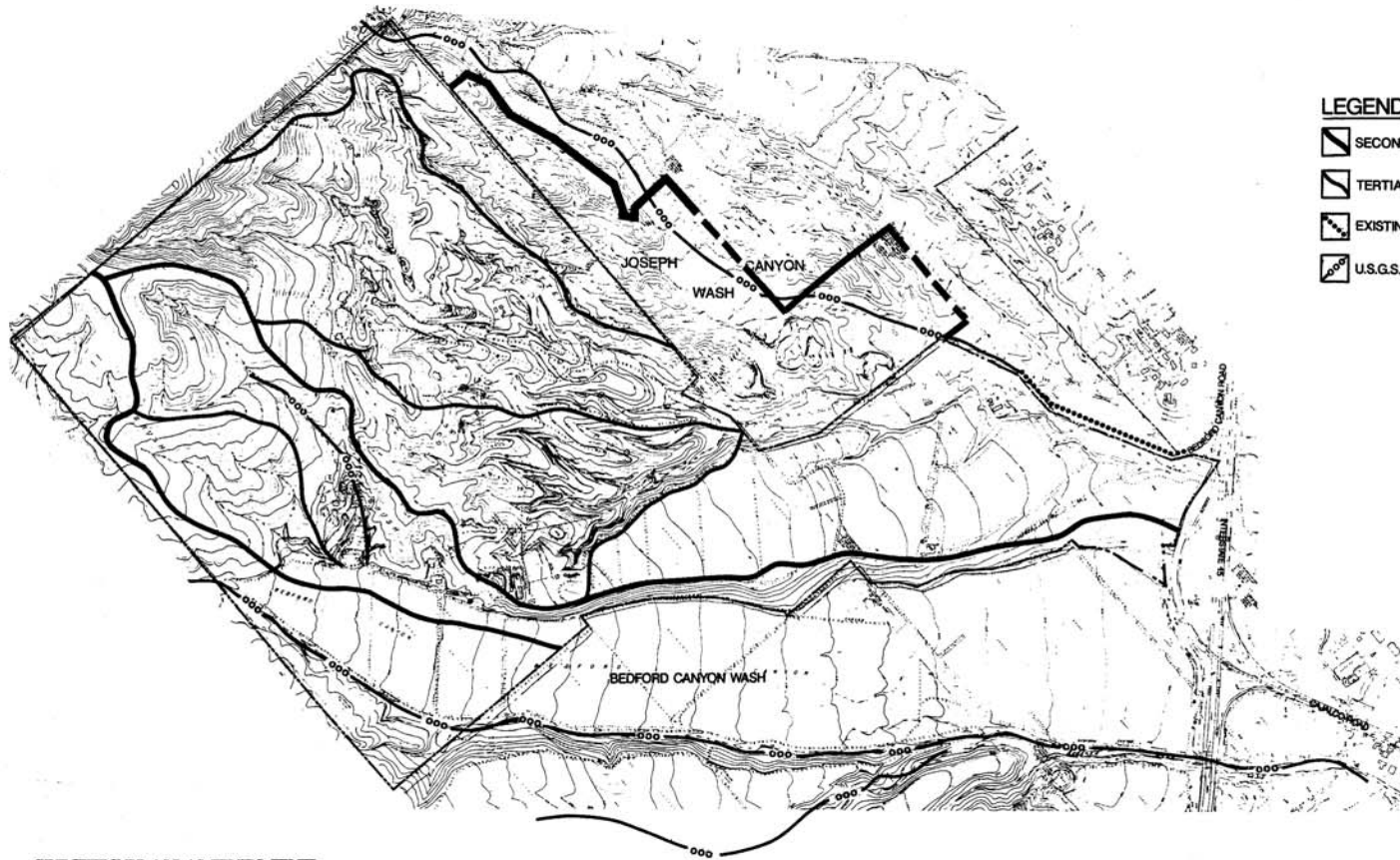
2.9 HYDROLOGY AND DRAINAGE

Runoff from the Santa Ana Mountains in the project vicinity generally drains in an easterly direction and is collected in Temescal Wash east of the site. The major drainage course which impacts the project site is Bedford Canyon Wash, an intermittent stream with a 100-year storm Q of approximately 4,000 cubic feet per second. It originates in the Santa Ana Mountains and transects the southeastern corner of the project site. Joseph Canyon Wash traverses the northern portion of the site from east to west and discharges into the existing Joseph Canyon Channel. This watershed also originates in the Santa Ana Mountains and the 100-year storm runoff is approximately 1,770 cfs under existing conditions.





Hydrologically, the site is located in the Temescal Ground Water Basin. This basin is an alluvium-filled trough that slopes towards the northwest. There are a total of three wells on-site; one water well is located in the western portion of the property, in Bedford Canyon. Water depth was measured in this well at 99 feet below ground surface in April 1990. Seasonal fluctuations in the groundwater level are expected, as influenced by rates of pumping from the basin, and amount of recharge.

There is no Riverside County Flood Control District floodplain mapping for the Bedford Canyon drainage area adjacent to the site; in addition, there is no Flood Insurance Rate Mapping (FIRM) available for this area. It is likely, however that a 100-year floodplain is associated with the Bedford Canyon Wash; existing FIRM mapping does show floodplains along Bedford Canyon Wash east of 1-15. Similarly, floodplain mapping has not been provided by Riverside County Flood Control District and a FIRM does not exist for the Joseph Canyon Wash upstream of 1-15. However, the northern portion of the site which is located within the Joseph Canyon Wash is located within a floodplain area which will be mitigated through development of a debris basin and detention basin. In addition there are three USGS blue line streams within the project area boundaries. Exhibit 2-7 depicts the Drainage Patterns on the site and the surrounding area.

The proposed storm drainage system described in Section 3.4.3 will carry drainage on the property in such a manner so as to have no significant impacts on development areas. All structures built within the Eagle Glen project will be protected from the floodplain hazard.



LEGEND

-  SECONDARY WATERSHED BOUNDARY
-  TERTIARY WATERSHED BOUNDARY
-  EXISTING DRAINAGE FACILITIES
-  U.S.G.S. BLUELINE STREAM


SPECIFIC PLAN AMENDMENT

Eagle Glen

City of Corona, California
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**EXHIBIT 2-7
 DRAINAGE PATTERNS**

 Not to Scale **FORMA**
JUNE 2001
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SECTION 2: EXISTING CONDITIONS

2.10 VIEWS AND AESTHETICS

2.10.1 VIEWS OFF-SITE

The natural landforms of the property dictate the major visual aspects of the project. Dominant features in the area include: the Santa Ana Mountains and the Cleveland National Forest to the west, the urbanized City of Corona to the north, and the foothills of the Santa Ana Mountains to the south.

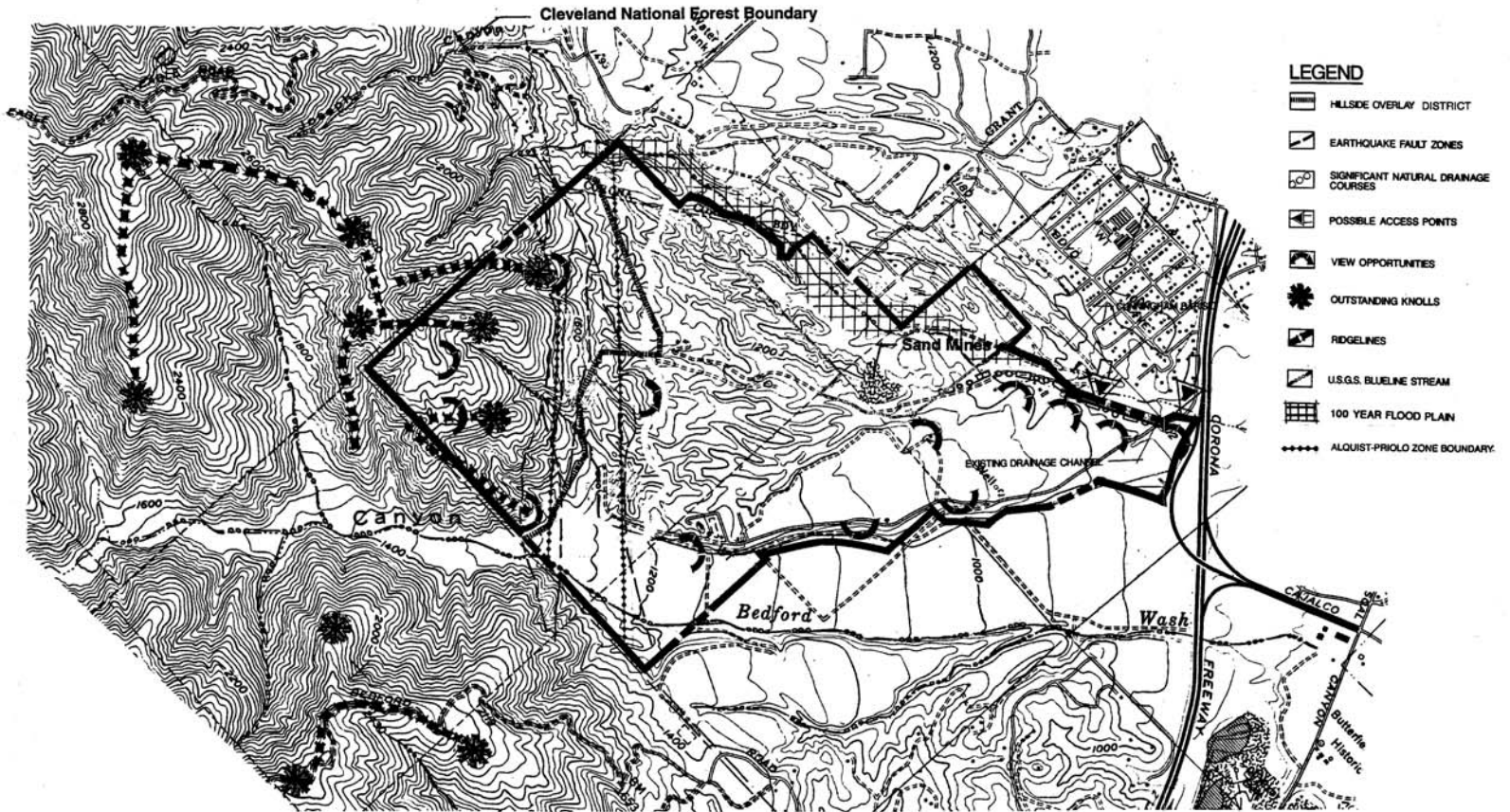
The Santa Ana Mountains form a backdrop for the site. Elevations along the ridgelines to the west achieve heights over 4,000 feet. The ridgeline backdrop is over 1,700 feet higher than the highest elevation on the Eagle Glen site.

On-site vantage points which offer views off-site are illustrated on Exhibit 2-8, Opportunities and Constraints. View nodes and view windows have been considered and incorporated into the Land Use Plan for the property. There are many opportunities on the site where home sites have been located and designated to capture views of natural amenities within riparian or other open space areas. Homes may also be oriented to capture visual amenities off-site. The following are some man-made features that can be seen from the Eagle Glen site:

1. Roadways - Interstate 15 to the north and east. Bedford Canyon to the north and Cajalco Roads to the east.
2. Adjacent rural residential areas to the north and south, and industrial uses to the east.
3. The urbanized City of Corona to the north.
4. Citrus groves to the north and south.
5. Lake Mathews to the northeast.

2.10.2 VIEWS ONTO THE SITE

The Eagle Glen site is most visible from the 1-15 corridor and Cajalco Road traveling west. There are two types of views from these perspectives: close range views of the off-site orchards on the alluvial fan of the Bedford Canyon Wash and the more distant views of the undeveloped hillsides/foothills of the Santa Ana Mountains, covered with native California Chaparral. Much of the hillsides were burned in the June 1990 fire, but have now revegetated. Freeway views are limited due to the freeway speed and short view window looking west from the freeway up Bedford Canyon between the Cajalco Road overpass and the Bedford Wash Bridge.



SPECIFIC PLAN AMENDMENT

Eagle Glen

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EXHIBIT 2-8 OPPORTUNITIES AND CONSTRAINTS



SECTION 2: EXISTING CONDITIONS

As mentioned previously, elevations of the Main Divide Road along the ridgeline range from 3615 to over 4000 feet, 1315 to 1700+ feet higher than the highest elevation on the Eagle Glen site. As shown on Exhibit 2-4, elevations along the ridgeline to the northwest reach 4007 feet and to the southwest elevations are over 4120 feet.

Due to the significant backdrop of the Santa Ana Mountains in relation to the Eagle Glen site, ridgelines and knolls below the 1600 foot elevations are not considered outstanding or prominent visual features.

2.11 NATURAL FEATURES

In designing Eagle Glen, special attention was given to the natural features present on the site as illustrated by Exhibit 2-8. An effort was made to be sensitive and to minimize the disturbance of these natural features wherever possible. The following are examples of where and how this was done.

In order to reduce the impact of development to the foothills the southwestern portion of the site has been designated for a golf course and very low density residential development. A majority of the natural open space on the site is also located in this portion of the project area. By increasing the lot size and setting this area aside for custom homes, disturbance to the foothills is minimized. Section 3.5.5 of this document specifies guidelines for development of hillsides which will substantially maintain the natural character and environmental and aesthetic value of the foothills. Fire safety concerns for residential development located near natural open space are addressed by the Fuel Modification Program in Section 5.5.

An earthquake fault zone traverses the site. The land use plan takes this zone into consideration and respects the fault zones through the use of setbacks, as established by Leighton and Associates, in their Pre-Tentative Tract Geotechnical Investigation for the Eagle Glen property (June 22, 1990) and update letter of August 14, 1996. A portion of the golf course is also located within the fault zone.

SECTION 2: EXISTING CONDITIONS

2.12 CIRCULATION AND TRANSPORTATION

Regional access to Eagle Glen is provided by the Riverside Freeway (SR-91) and Interstate 15 (I-15). Currently, the only improved access to Eagle Glen is from Bedford Canyon Road which runs parallel to I-15 on the eastern boundary of the site. Bedford Canyon Road is classified as a secondary route with a right-of-way of 88 feet (in actuality the right-of-way along Bedford Canyon Road varies from 59 to 170 feet).

The City has adopted an alignment for the extension of a collector road (Masters Drive) to join the western boundary of Eagle Glen with the South Corona area at California Avenue.

Cajalco Road extends eastward from a partial interchange at Interstate 15, directly across the freeway from Eagle Glen, but does not provide a connection to the site. At one time studies were conducted to explore the possibility of the extension of Cajalco Road westward through the southeast corner of the site. The Riverside County Road Department has now abandoned this concept. Bedford Canyon Road and the completion of the Cajalco Road extension and interchange will serve as the two primary points of access for the site. For further discussion of the proposed circulation plan, see Section 3.3, Circulation Concept.

2.13 UTILITIES AND PUBLIC SERVICES

Waste water and water service will be provided to the Eagle Glen property under the jurisdiction of the City of Corona's Utility Department. Non-potable water was supplied for agricultural uses per a contract agreement with the Elsinore Valley Municipal District, and will continue to be available, subject to an agreement. Records indicate there are two water wells on site. However, their locations have not been identified. If found, the wells will be reconditioned and utilized or abandoned in accordance with Regional Water Quality Control Board requirements.

The property is within the Corona/Norco Unified School District. As shown on the Eagle Glen Land Use Plan, Exhibit 3-1, a school site has been identified within the Eagle Glen project.

Southern California Edison provides electricity to the project site. Southern California Gas Company provides natural gas to the property.

SECTION 2: EXISTING CONDITIONS

2.14 FIRE AND POLICE SERVICES

Fire protection for the Specific Plan and the surrounding areas is provided by the City of Corona Fire Department. The nearest fire station serving the project site is located within the South Corona Community Facilities Plan and Mountain Gate Specific Plan area to the north of the Eagle Glen Community. There is currently a County Fire Station located at the corner of Cajalco and Temescal Canyon Roads.

Police protection is provided by the City of Corona Police Department. All police services are coordinated from the main police facilities located in downtown Corona.

SECTION 3: DEVELOPMENT PLAN

3.1 SPECIFIC PLAN GOALS

The intent of the Eagle Glen project is to provide a planned community with residential neighborhoods, recreational areas, open space, and general commercial services. Following are the basic goals of the Eagle Glen Specific Plan:

1. To establish a comprehensive land use plan that designates the distribution, location and extent of all land uses, roadways and public facilities within the Specific Plan area;
2. To promote quality development that will be consistent with the goals and objectives of the General Plan;
3. To provide a variety of lot sizes and architectural products for a high quality aesthetic residential community, unique in design and visual character;
4. To establish a neighborhood character by creating uniquely identifiable neighborhoods, through landscaping, open space, buffers and product type;
5. To provide approved access for the efficient and safe movement of vehicles and pedestrians with minimum intrusion on residential neighborhoods;
6. To provide a system of parks and open space which combines natural and man-made areas to create a scenic and active living environment for residents;
7. To provide recreational opportunities and meeting facilities for the City's residents;
8. To establish a community commercial center which will help meet the commercial needs of the future residents in the area;
9. To assure adequate phasing of all community facilities including circulation improvements, drainage facilities, domestic water, and waste water treatment facilities;
10. To establish an emergency communications facility to serve Eagle Glen and other properties in the surrounding area; and
11. To provide a Specific Plan that is user-friendly in the sense of being both comprehensive and understandable.

These goals are aimed at guiding the development of Eagle Glen to create a planned community which will be in harmony with the natural environment and, at the same time, preserve open space, provide recreational opportunities and develop a distinctive sense of community character for future residents and guest.

SECTION 3: DEVELOPMENT PLAN

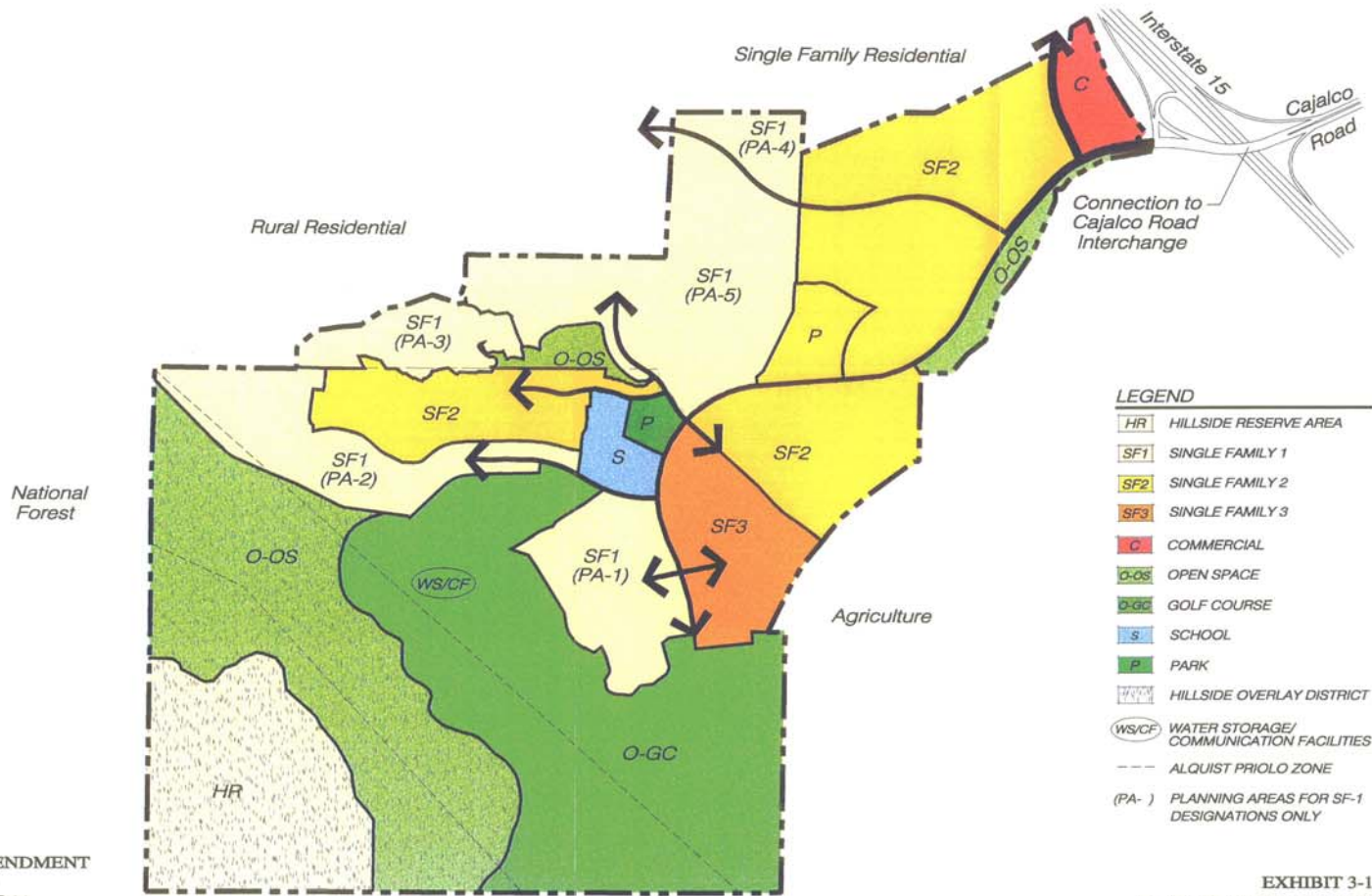
3.2 LAND USE CONCEPT

The Eagle Glen Specific Plan is a mixed use residential community of 1,138 acres. It provides for an initial 1,443 Single Family Residential dwelling units, with the potential for an additional 118 single-family estate dwelling units at a later date, for a grand total of 1,561 dwelling units; a 15-acre commercial site; a 13-acre sports park and a 5-acre joint-use neighborhood park; an 8-acre elementary school site; a 245-acre golf course which includes a practice range, with a combination clubhouse and banquet facility; 206.8 acres of open space; an emergency communications facility; a MWD water line; and a domestic water storage site. Exhibit 3-1 illustrates the Land Use Plan for the Specific Plan area. All Specific Plan land uses are summarized in Table 1, Eagle Glen Land Use Allocation.

The following sections describe the types of residential, commercial, recreation, and open space development provided by this Eagle Glen Specific Plan. Because of location, topography, density, and product type, each residential land use will have its own character and will represent a particular market and lifestyle. A spectrum of housing prices will be provided within Eagle Glen, from moderate to luxury.

3.2.1 RESIDENTIAL LAND USES

Eagle Glen residential land uses are described by the Single Family Residential District. Approximately 538.5 acres, or 47 percent, of the Land Use Plan is devoted to residential uses. These residential areas will contain up to 1,561 dwelling units providing housing for a projected population of 5,152 people (projected population is based on the State Department of Finance population estimate of 3.3 persons per single-family dwelling unit). The land use categories established within Eagle Glen are discussed in Table



LEGEND

- HR HILLSIDE RESERVE AREA
- SF1 SINGLE FAMILY 1
- SF2 SINGLE FAMILY 2
- SF3 SINGLE FAMILY 3
- C COMMERCIAL
- O-OS OPEN SPACE
- O-GC GOLF COURSE
- S SCHOOL
- P PARK
- HILLSIDE OVERLAY DISTRICT
- WS/CF WATER STORAGE/COMMUNICATION FACILITIES
- ALQUIST PRIOLO ZONE
- (PA-) PLANNING AREAS FOR SF-1 DESIGNATIONS ONLY

SPECIFIC PLAN AMENDMENT

Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.

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EXHIBIT 3-1
LAND USE PLAN



SECTION 3: DEVELOPMENT PLAN

**TABLE 1
LAND USE ALLOCATION**

LAND USE	ACRES	% OF SITE	DWELLING UNITS	DENSITY RANGE	AVG. DENSITY/ AC.	POPULATION PER UNIT ⁽¹⁾	TOTAL POPULATION
Single Family Residential B SF-1 (Planning Areas 1-4)	156.1	14	292	0-2 du/ac	1.87	3.3	964
Single Family Residential B SF-1 (Planning Area 5)	105.9	9	274	0-3 du/ac	2.59	3.3	904
Single Family Residential B SF-2	227.5	20	675	0-3 du/ac	2.97	3.3	2,228
Single Family Residential B SF-3	49.0	4	202	0-5 du/ac	4.12	3.3	667
Hillside Reserve Area B HR	99.0	9	0-118 ⁽¹⁾	0-2 du/ac	1.19	3.3	389
School (8.0-acres usable)	15.0	1		N/A			
Parks (18.0-acres usable)	18.0	2		N/A			
Open Space B O-OS	206.8	18		N/A			
Golf Course B O-GC	245.0	22		N/A			
Commercial	15.5	1		N/A			
TOTALS	1,137.8 ac	100	1,561 du		1.37 du/ac		5,152

⁽¹⁾ State Department of Finance

⁽²⁾ Requires Environmental Analysis and Specific Plan Amendment approval per Section 6.6

SECTION 3: DEVELOPMENT PLAN

Single Family Residential (SF) District

The SF District allows for three single-family detached home neighborhoods. The first two neighborhoods (SF-1 and SF-2) provide for single-family detached homes on individual lots. The third neighborhood (SF-3) consists of single-family detached condominiums. The three SF land use areas incorporated into the Eagle Glen Specific Plan are summarized as follows:

SF-1 (SF)

The SF-1 designation is divided into five Planning Areas.

Planning Areas 1-4 contain 292 single-family detached homes and are generally located adjacent to the golf course or open space in the central and northwestern portions of Eagle Glen. Minimum lot size allowed for Planning Areas 1-4 is 9,600 square feet at an allowable combined density of 0-2 dwelling units per acre.

Planning Area 5 consists of 274 dwelling units and is located in the north-central portion of Eagle Glen. This 105.9-acre neighborhood has a minimum lot size of 8,400 square feet with a density range of 0-3 dwelling units per acre.

SF-2 (SF)

The SF-2 neighborhoods are located in three areas of Eagle Glen. The easterly neighborhood is bounded by Bedford Canyon Road to the east, Eagle Glen Parkway to the south, the sports park and S.P. boundary to the west and S.P. boundary to the north. The central SF-2 neighborhood is generally bounded by Eagle Glen Parkway and the sports park to the north, SF-3 to the west, and the S.P. boundary to the south and east. The westerly neighborhood is bounded by the S.P. boundary to the north, by the school site to the east, and by SF-I to the south and west. These residential areas will include 675 single-family detached homes. The minimum lot size for SF-2 will be 7,200 square feet. The allowable density range is 0-3 dwelling units per acre.

SF-3 (SF)

The SF-3 neighborhood will consist of single-family detached condominium homes. The overall SF-3 density is proposed to be approximately 4.12 dwelling units per gross acre. Streets may be private and gated entries are optional. The SF-3 neighborhood is located in the central portion of the Specific Plan area and is generally bounded by the golf course to the south, Eagle Glen Parkway to the west and north, SF-2 to the northeast, and the S.P. boundary to the southeast. A maximum of 202 residential units are allowed within the SF-3 neighborhood. The allowable density range for SF-3 is 0-5 dwelling units per acre.

SECTION 3: DEVELOPMENT PLAN

3.2.2 COMMERCIAL LAND USES

Commercial District

Eagle Glen commercial land uses are described by the Commercial District. Commercial land uses will occupy a total of 15.5 acres, or about one percent of the Eagle Glen project area. The Commercial Center is located at the eastern edge of Eagle Glen between Bedford Canyon Road and the I-15 freeway. The Commercial Center provides a buffer between the freeway to the east and the SF-2 neighborhood to the west. The SF-2 homes are separated from the Commercial Center, both vertically and horizontally, by a landscaped slope area on the west side of Bedford Canyon Road. The slope area is shown on Exhibits 5-3 and 5-7.

The Commercial Center is intended to provide a variety of goods and services. Typical uses could include a market, convenience store, automobile service station, drugstore, restaurant, day care, and small satellite retail and service stores; in addition, professional office uses will be allowed. A complete list of allowed and conditional uses is provided in Section 4.7.

3.2.3 OPEN SPACE AND RECREATION USES

Open space and recreation facilities are key elements of the Eagle Glen Specific Plan. In all, 572.8 acres, or 50 percent of the Specific Plan Area is devoted to open space, hillside reserve, public parks and golf course areas. The recreation and open space concept for the Eagle Glen development is reflected on Exhibit 3-2.

The recreation and open space concept has been designed to preserve the site's natural resources, wherever possible, and incorporate them as positive recreational opportunities or visual amenities for residents. It also provides a parks and recreational open space system which combines natural and man-made areas to create a scenic and active living environment for residents.

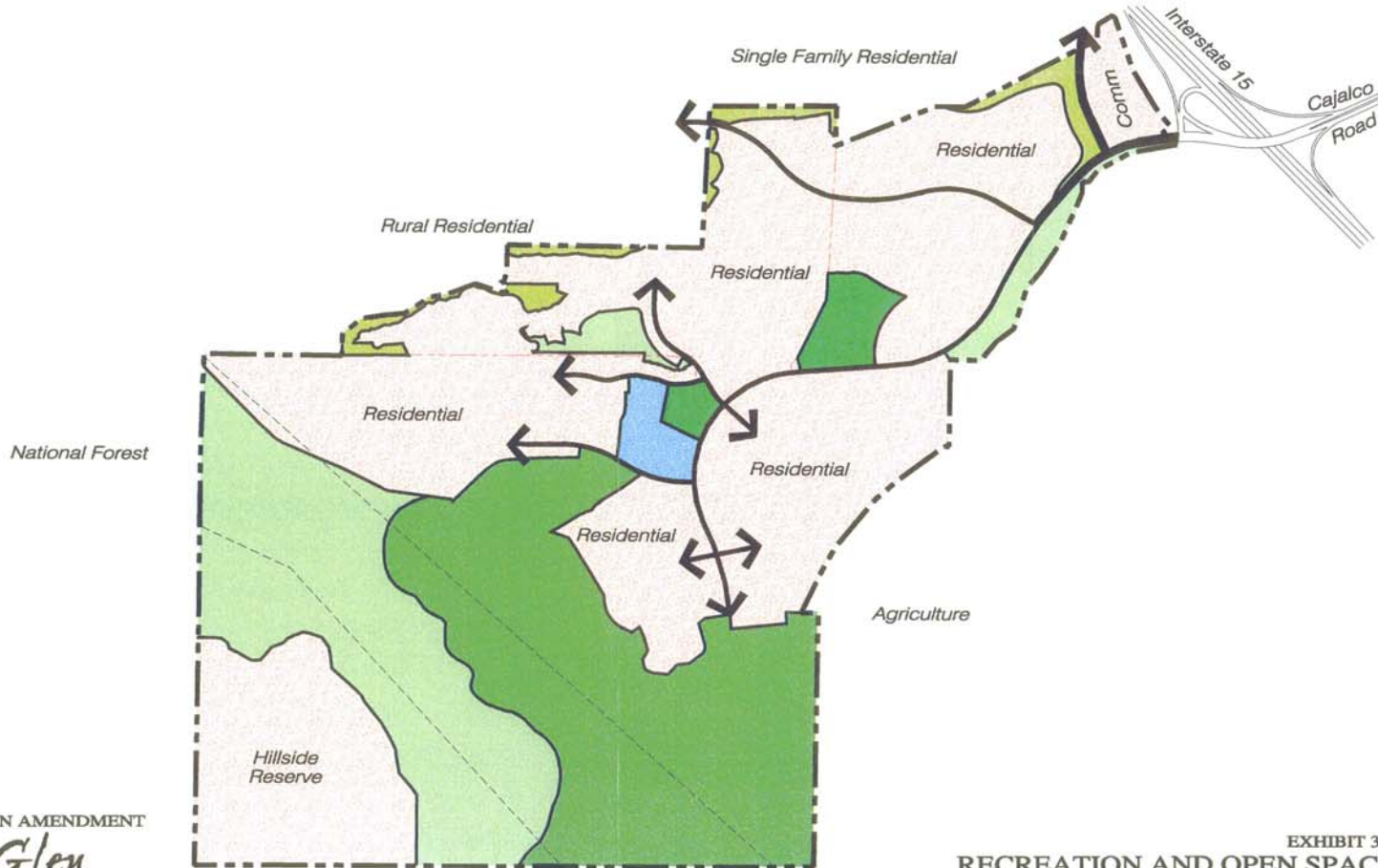
SECTION 3: DEVELOPMENT PLAN

Parks (P)

Based on the Quimby Act park requirements for the City of Corona (3.5 acres per 1,000 population), Eagle Glen would require 16.79 acres of park lands, based on the total projected population of 4,761 excluding hillside reserve area (1,443 du x 3.3 persons per du). In accordance with the Pre-annexation Agreement the project will exceed Quimby Act requirements by providing a total of 18 acres of public park land and \$130,000 in-lieu fees for an additional 2 acres plus \$1.5 million for a total of \$1,630,000 toward park improvements. Park development will be based on the requirements described in the Mission Crest Pre-Annexation Agreement and Park Development Agreement with the City. The park concepts are illustrated by Exhibit 3-3. General Park Provisions are described in Section 4.10.2.

A public 13-acre sports park will be capable of handling active recreation uses. The final design of all park facilities shall be subject to the review of the Parks and Recreation Department, the Parks and Recreation Commission and the City Council. The sports facility will be constructed by the developer and conveyed to the City in conjunction with Infrastructure Unit "A" of the Eagle Glen Phasing Plan (see Section 3.6).

A 5-acre joint-use neighborhood park will be located adjacent to the elementary school site. This site will be graded and improved by the developer based on the terms of the Pre-Annexation Agreement, and conveyed to the City in conjunction with Infrastructure Unit "B" of the Eagle Glen Phasing Plan (see Section 3.6).



SPECIFIC PLAN AMENDMENT

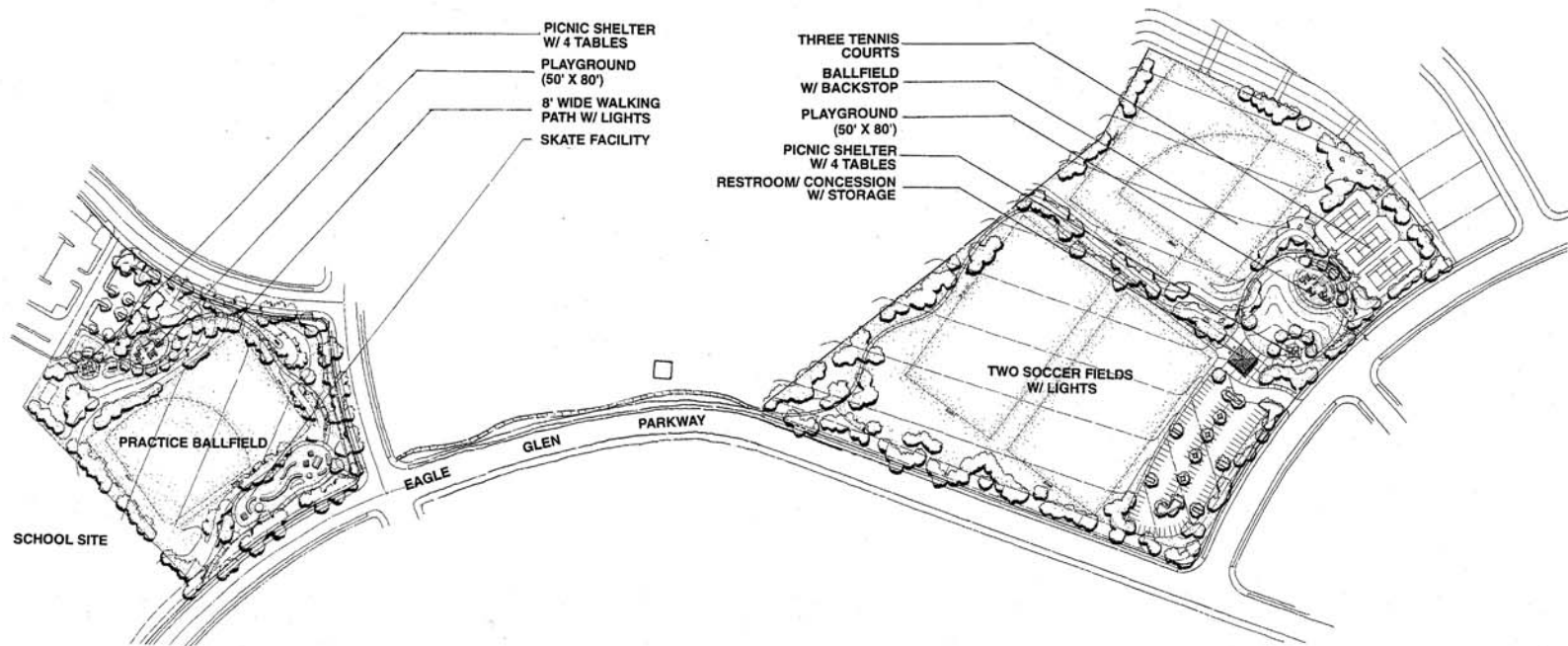
Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.

10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-2
RECREATION AND OPEN SPACE





SPECIFIC PLAN

Eagle Glen

City of Corona, California
 CORONA COUNTRY CLUB ESTATES, L.L.C.
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EXHIBIT 3-3
 PROPOSED MASTER PLAN OF PARKS



SECTION 3: DEVELOPMENT PLAN

Golf Course Complex (O-GC)

The 18-hole public golf course, practice range, and clubhouse are located in the south portion of Eagle Glen. The 245-acre complex is bordered by the Open Space District to the west and by residential neighborhoods SF-1 and SF-3 to the north. The clubhouse will be accessible from Bedford Canyon Road and Cajalco Road via Eagle Glen Parkway. The emergency communications facility and water reservoir will also be located within this district, adjacent to the SF-1 neighborhood.

The facility is anticipated to be a moderate-to-high-end daily fee golf course. The course has been designed toward the traditional while incorporating some “target golf” as directed by the terrain in order to blend with the natural environment, thereby minimizing visual impacts and reducing grading activities. It is expected that the Golf Course will be designed as a par 72 with an approximate slope rating of 125-130 and could accommodate approximately 67,500 rounds of play per year. Anticipated hours of play are from ½ hour before sunrise until dark, 365 days a year.

Golf Course Acreage (Approximate)

Clubhouse/Banquet Facilities	6 acres
Driving Range (10 acres grassed)	14 acres
Front Nine (50 acres grassed)	112 acres
Back Nine (52 acres grassed)	103 acres
Maintenance & Roads	<u>10 acres</u>
	245 acres

The Golf Course Concept Plan visualizes a traditional clubhouse with atrium, verandas, lobby, administration, pro-shop, locker rooms, cart storage, lounge, and restaurant/grill facilities combined with a multi-use meeting/banquet facility capable of seating 400 persons. It is the intent of the developer that the banquet facility be made available to the City of Corona and general public for special events and occasions on a rental basis. A practice range will be located near the clubhouse.

Based on an estimate of 112 acres of grassed area, water usage would average approximately 600,000 gallons per day, with peak summer days requiring 600,000-1,000,000 gallons per day. It is expected that reclaimed water from an off-site waste water treatment facility may be used for golf course and landscape irrigation.

It is anticipated that once rough grading is complete, it will require approximately 12-18 months for the golf course to be playable, depending on weather and any -construction problems encountered.

SECTION 3: DEVELOPMENT PLAN

The golf course complex will be developed with the first Eagle Glen development phase. Initial golf course operations may include temporary clubhouse facilities. Permanent clubhouse facilities are to be in place prior to the issuance of the 500th Eagle Glen residential building permit. The clubhouse/banquet facility will be subject to Precise Plan review or amendment to the approved golf course Conditional Use Permit (CUP-97-01).

Open Space (O-OS)

Approximately 207 acres of natural open space and landscaped slope areas are incorporated into the community design to preserve the integrity of the existing environment. The majority of the Open Space identified on the Eagle Glen Land Use Plan has been designated to correspond with natural features currently existing in the Specific Plan area, including steep slopes and geotechnical conditions. This Open Space is generally located between the golf course and the Hillside Reserve Area and is within the Eagle Glen Hillside Overlay District. As shown on the Land Use Plan, Exhibit 3-1, the Alquist-Priolo Special Studies Zone traverses much of the main Open Space area and golf course. The study zone defines the main tract of the Elsinore-Whittier Fault System. There are approximately 177 acres of natural open space undisturbed by development, located mostly on the southwestern portion of the site, within the Hillside Overlay District. Uses allowed within this Open Space area may include debris and detention basins and fuel modification areas. Access roads to the Hillside Reserve Area may also be allowed within the Open Space area if approved in conjunction with a Specific Plan Amendment and Tentative Subdivision Map for future estate development within the Hillside Reserve Area.

Landscaped slope areas located along Eagle Glen Parkway, as shown by the Land Use Plan (Exhibit 3-1), are also designated as Open Space.

An appropriate entity or organization will be established to assume responsibility for the maintenance of open space areas. Areas of maintenance responsibilities are shown on Exhibit 6-1.

Hillside Reserve Area (HR) District

The Hillside Reserve Area (HR) District is proposed as a future phase of the project. While the Specific Plan allows for the potential of up to 118 estate lots within the HR District, additional approvals will be required before any residential development is allowed. Prior to any development, a Specific Plan Amendment and environmental documentation is required. Future development of estate residential units will also be subject to the approval of a Tentative Subdivision Map and a Precise Plan. The Specific Plan Amendment shall include a development feasibility study addressing the provisions for access and public facilities to the area, given the physical constraints of the site, and preliminary grading and lotting studies. The Specific Plan Amendment and accompanying environmental documentation shall demonstrate that seismic, biological, visual, and grading impacts are adequately mitigated. The Precise Plan will review the architectural designs for the proposed units.

SECTION 3: DEVELOPMENT PLAN

The HR District will accommodate large-lot residential development with densities of 0-2 dwelling units per acre. Minimum lot size is one-half acre. The 99-acre HR area is located in the southwest corner of the Specific Plan area. It is situated on the highest elevations of the Eagle Glen site and overlooks natural open space and the golf course. Due to terrain constraints, a Hillside Overlay District has been applied to the HR District. The overlay district is shown on Exhibit 3-1 and is further described in Section 3.5.5

3.3 CIRCULATION PLAN

The Circulation Plan, shown on Exhibit 3-4, establishes a general layout and design standards of roadways for Eagle Glen to safely meet the transportation needs of the community.

The following features have been incorporated into the circulation concept:

- The circulation system has been designed to provide access to regional transportation route I-15 and to provide access to the adjacent areas in South Corona. Improvements to the interchange at Cajalco Road for access to the site are required for the project. A conceptual interchange design is illustrated on Exhibit 3-5, pending final design and approval by Caltrans.
- Roadways within the project site will be constructed in accordance with the Eagle Glen Phasing Plan.
- A traffic signal will be required at the intersection of the Eagle Glen Parkway and Bedford Canyon Road. A second traffic signal will be required at the I-15/Cajalco Road interchange. Final traffic signal locations will be based upon the project Traffic Study which is subject to approval of the Director of Public Works.
- Masters Drive will be extended from Eagle Glen Parkway to the western boundary as the first stage of the future link to the South Corona area. This collector street will be extended westerly to California Avenue by others in conjunction with future development.

SECTION 3: DEVELOPMENT PLAN

3.3.1 VEHICULAR CIRCULATION

The Circulation Plan, as shown on Exhibit 3-4, proposes Secondary Arterials as the primary access roads into the site. From this arterial backbone system, a series of Collector Streets will extend into the residential neighborhoods.

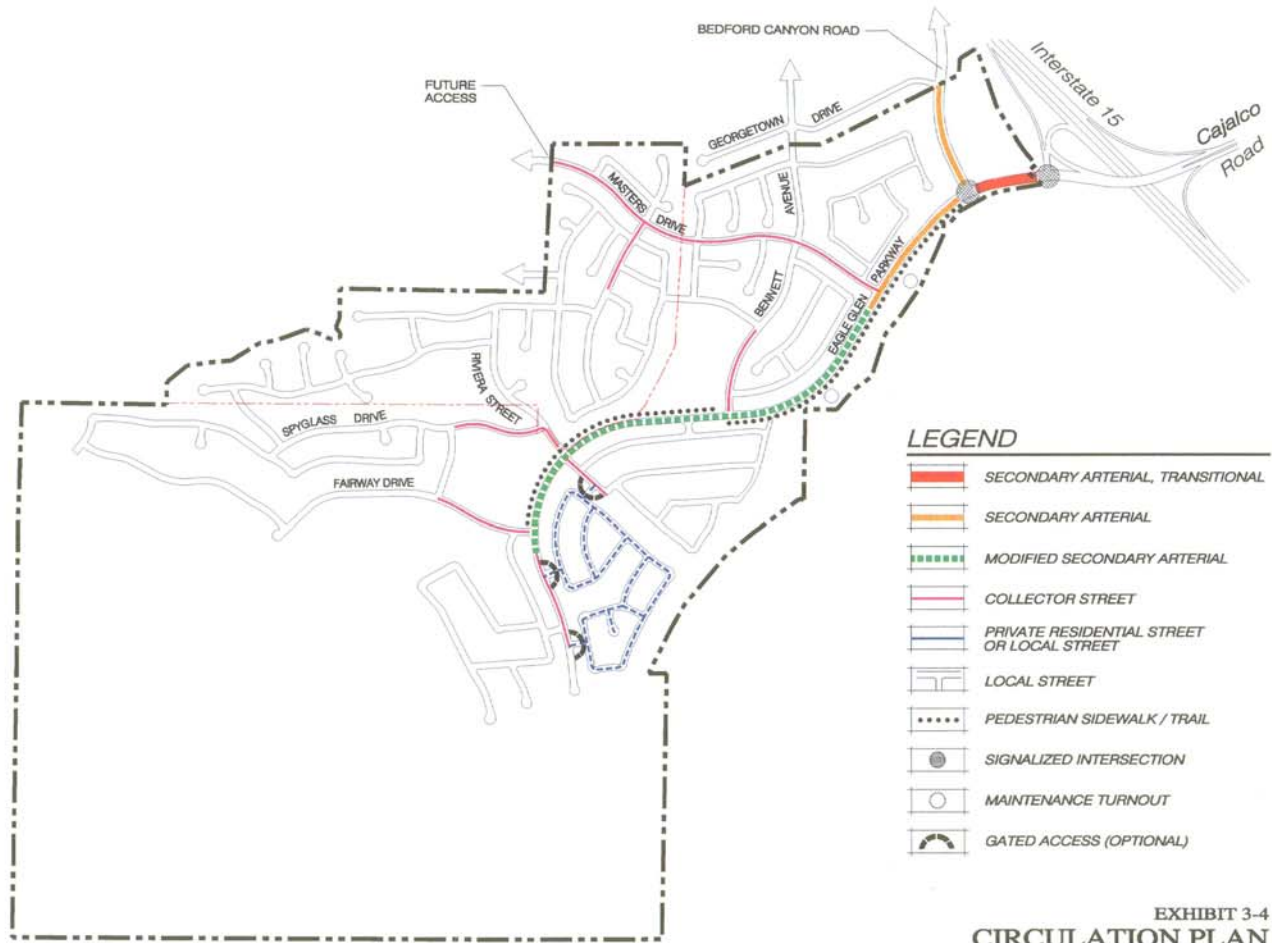
Local residential streets will be constructed by the developer or participant merchant builders and shall incorporate a meandering design to provide interest, slow traffic and enhance streetscape quality. Internal street design and intersection geometrics shall be studied prior to Tentative Subdivision Map submittal; right-of-way shall be reserved where necessary to accommodate additional turn lanes. Special attention shall be given to street classification and radii in the vicinity of the elementary school site, for purposes of providing adequate circulation, parking, and safe sight distance.

Private residential streets may be allowed within the SF-3 neighborhood. The Homeowners' Association will be responsible for maintenance of all SF-3 private streets. The curb-to-curb street width shall be such that on-street parking will be accommodated on both sides of the street. Divided entry-way streets may be provided at the three entries to the SF-3 neighborhoods. At the developer's option and with the City's approval, the entry-way streets may be gated.

A private hillside street system may also be established for the future Hillside Reserve Area (HR) District in the western portion of Eagle Glen. One emergency access route would be required for this hillside neighborhood, in addition to the primary access road. The private hillside streets within the Hillside Overlay District shall be designed in response to the hillside grading standards in Section 3.5.5, Hillside Grading in the Hillside Overlay District.

Where possible, roadways in fault zone areas will generally cross the faults in a perpendicular fashion to minimize risk or damage related to earthquake activity.

Each phase of development shall have at least two points of access, as approved by the City of Corona. A technical description of each street category is provided below. Street sections are illustrated in Section 5.4.3.



NOTE

THE CONFIGURATION OF THE LOCAL AND PRIVATE STREETS ARE ILLUSTRATIVE ONLY. THESE STREETS AREA SUBJECT TO SUBDIVISION MAP APPROVAL.

SPECIFIC PLAN AMENDMENT

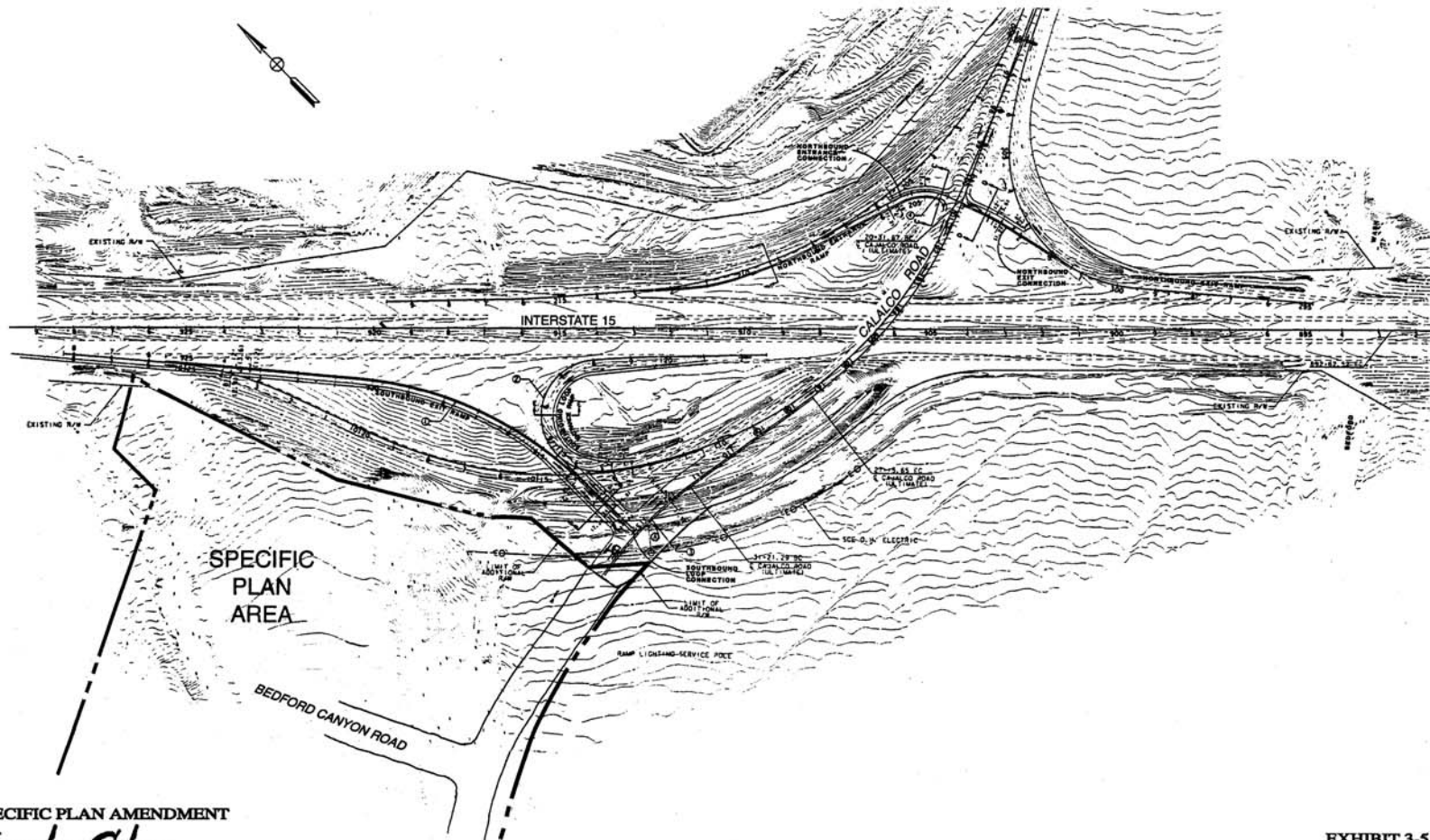
Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.

10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

**EXHIBIT 3-4
 CIRCULATION PLAN**





SPECIFIC PLAN AMENDMENT

Eagle Glen

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EXHIBIT 3-5
 I-15/CAJALCO ROAD INTERCHANGE

Not to Scale **FORMA**
 JUNE 2001
 forma/eagle-glen/spa-01-06/11x17010e.dwg

SECTION 3: DEVELOPMENT PLAN

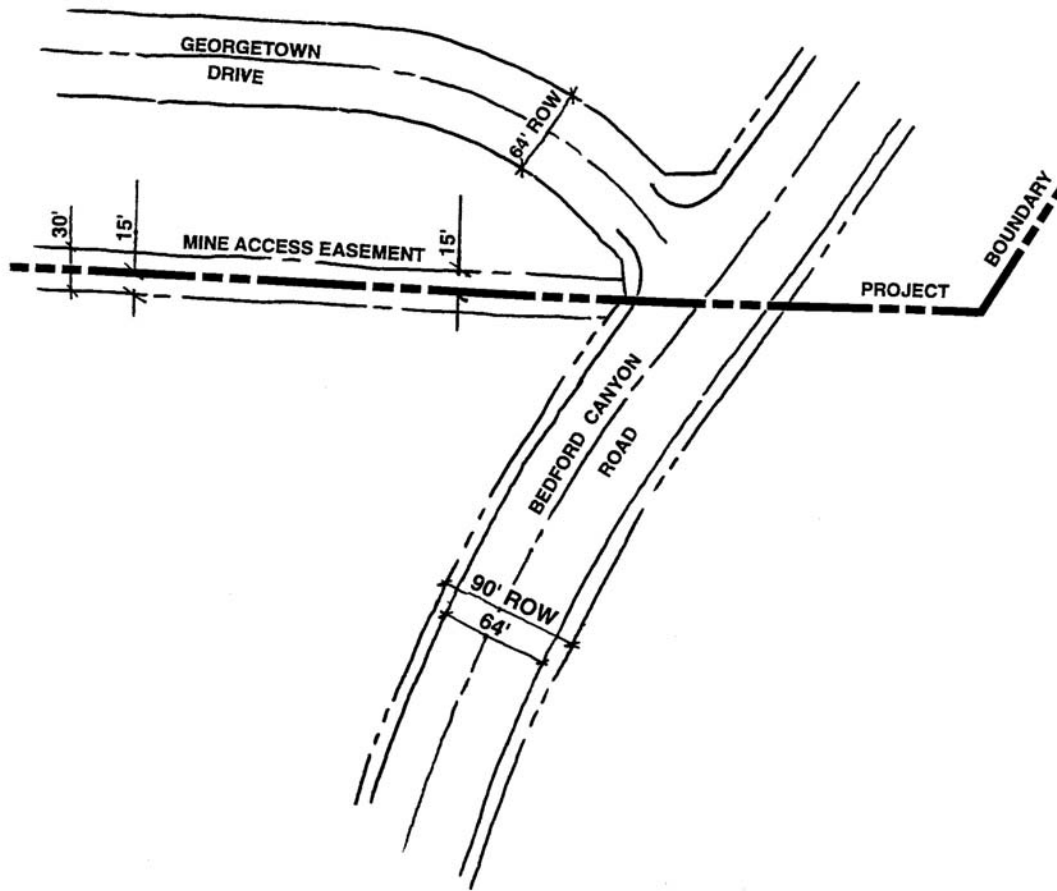
Interstate 15/Cajalco Road Interchange

A preliminary Interstate 15/Cajalco Road interchange improvement design has been reviewed with Caltrans. The conceptual alignments have been incorporated into the Circulation Plan and are shown on Exhibit 3-5. The Eagle Glen project will construct the interchange in the first development phase. The interchange shall be in place and functional prior to the issuance of the first Certificate of Occupancy. The Cajalco interchange access shall be built as a secondary classification street and shall connect Bedford Canyon Road to the Cajalco interchange at I-15. The final alignment of this access road and design shall be subject to the review and approval of Caltrans, the County of Riverside, and the City of Corona.

Bedford Canyon Road

The County of Riverside General Plan currently designates existing Bedford Canyon Road as a Secondary Arterial with a right-of-way of 88 feet (in actuality the right-of-way varies from 59 to 170 feet). This designation was established by the County some time ago since Bedford Canyon Road would act as a frontage road for the I-15 Freeway between the existing interchanges at El Cerrito Road and Weirick Road. The existing Bedford Canyon Road shall be extended through the Eagle Glen community from the Jasmine Ridge/Deer Ridge Tract in a southerly direction, to connect with the westerly extension of Cajalco Road, which becomes Eagle Glen Parkway within the Specific Plan area. The Eagle Glen Specific Plan calls for modifications to the existing Cajalco Road interchange which would provide the Eagle Glen property direct access to the freeway from the west side of I-15. This additional freeway access will allow Bedford Canyon Road to continue to function within its current right-of-way and modified collector status from El Cerrito Road to the project boundary and as a Secondary Arterial within Eagle Glen. The relationships of Bedford Canyon Road to Georgetown Drive and the Mine Access Road are shown on Exhibit 3-6.

The off-site segment of Bedford Canyon Road extending from the north project boundary to El Cerrito Road will be modified to include an 8-foot parking lane adjacent to existing homes, 12-foot north- and southbound travel lanes, and a 12-foot striped center median. The restriping shall be reviewed and approved by the Riverside County Public Works Department and the City of Corona.



SPECIFIC PLAN

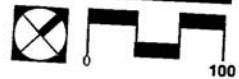
Eagle Glen

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10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-6
BEDFORD CANYON ROAD



SECTION 3: DEVELOPMENT PLAN

STREET HIERARCHY

A technical description of each street category is provided below. Street Sections are illustrated in Section 5.4.3.

1. Public Streets

Secondary Arterial

There are two roadways which qualify as Secondary Arterials within the project area. They are Bedford Canyon Road, currently existing as a frontage road along I-15, and the first segment of Eagle Glen Parkway, which will provide the primary backbone access from the I-15/Cajalco Interchange to the lower portion of the site. Eagle Glen Parkway changes classification from Secondary Arterial to Collector Street just beyond the intersection with the collector street which borders the south side of the school site, as shown on Exhibit 3-4. No homes shall front on the Secondary Arterials. All commercial access will be from Bedford Canyon Road.

Bedford Canyon Road will include a 64-foot, undivided, paved way within a 90-foot right-of-way, with 13-foot landscaped parkways on each side. A 6-foot sidewalk will be located within each parkway. In addition, landscaped areas will be located on both sides of the right-of-way as shown on Exhibit 5-8.

Eagle Glen Parkway begins at the I-15/Cajalco signalized interchange as a modified secondary arterial with a 76-foot right-of-way width, widening to 104 feet at the Bedford Canyon intersection. A 7-foot landscaped parkway and 5-foot sidewalk is included on both sides of this roadway segment, as shown on Exhibit 5-9 of this Specific Plan.

Beginning at the westerly side of the Bedford Canyon Road intersection, Eagle Glen Parkway transitions to an 88-foot right-of-way with 26-foot paved sections divided by a 12-foot landscaped median. A 12-foot landscaped parkway is included on each side of the roadway. The parkway on the northwest side of the street includes a 5 foot sidewalk while the southeast side includes a 6-foot pedestrian trail which is allowed to meander beyond the edge of the right-of-way, into the landscaped open space area. The 88-foot segment continues to just beyond the first northwesterly Collector Street which serves the SF-2 neighborhoods. Beyond this intersection, the Secondary Arterial is reduced to an 82-foot undivided right-of-way. The 82-foot configuration extends to just beyond the intersection with the sports park collector street. From this point to just beyond the school site, the roadway is further reduced to a 48-foot paved section within a 72-foot right of-way. An additional minimum 10-foot area will be provided on each side of the right-of-way for the purpose of landscape open space, recreational uses, or for other public facility uses. Stopping will not be permitted along Eagle Glen Parkway. As a result, parking turnouts shall be provided for maintenance vehicles.

SECTION 3: DEVELOPMENT PLAN

Collector Street

Collector Streets extend into residential neighborhoods from Eagle Glen Parkway. As it continues westward, Eagle Glen Parkway is reduced to a Collector Street and extends southward toward the golf course. Two Collector Streets extend from Eagle Glen Parkway into the easterly SF-2 neighborhood. The first collector street to the west of Bedford Canyon Road is Masters Drive which extends northwesterly to the westerly SPA boundary. This Collector will provide circulation within the Eagle Glen community, access to Planning Area 5, and an interconnection into South Corona to California Avenue as done by others. The second collector segment is located adjacent to the easterly frontage of the sports park. Three additional Collector Streets extend to service portions of the SF-1, SF-2, and SF-3 residential neighborhoods to the west. Provisions for future access to the north are provided by Bennett Avenue which extends from Eagle Glen Parkway along the northeast side of the neighborhood park. Another Collector Street will extend southerly from Masters Drive into Planning Area 5.

The Collector Streets include a 44-foot paved section within a 68-foot right-of-way. The roadway consists of 2 traffic lanes and 2 emergency lanes. All Collector Streets include minimum 10-foot-wide areas on each side of the right-of-way which will be utilized for landscaped open space, recreational uses, or for other public facility uses. Where the pedestrian trail is located along one side of Eagle Glen Parkway, the sidewalk will be increased to a width of 6 feet. No residences shall front onto a Collector Street, except as noted in Section 4.3.1. Collector Street locations are shown on Exhibit 3-4.

The collector road intersection of the “school/park” collector street and the north future access, which is off-site, shall be acquired and dedicated prior to any development west of Eagle Glen Parkway and north of the last collector road (specifically, Implementation Areas I-2, I-3 and I-4). If this cannot be accomplished, the intersection shall be moved on-site.

Local Street

Local Streets form the majority of internal neighborhood circulation routes. The through Local Streets have a 64-foot right-of-way width with 2 traffic lanes and no median. Local cul-de-sacs may have 60-foot rights-of-way provided the cul-de-sac is determined to have low volume traffic counts, subject to the approval of the Public Works Director.

A local street will be extended to Newton Road at the northern project boundary. Location and configuration of the local streets will be determined at the time of the Subdivision map, in compliance with Section 6.6.1 of this Specific Plan and Chapter 16 of the Corona Municipal Code.

SECTION 3: DEVELOPMENT PLAN

2. Private Streets

Private Residential Streets

Within the SF-3 neighborhoods Private Residential Streets may be constructed for vehicular circulation. These streets shall be located within a 60-foot right-of-way area which will be maintained by a homeowners association. A minimum 40-foot curb-to-curb width will allow parking on both sides of the street. Four-foot wide sidewalks will be located on both sides of the street.

Divide entryway streets will include 20-foot curb-to-curb width paved sections and 4-foot wide sidewalks for both directions of travel and a 20-foot median within an 80-foot right-of-way.

Private Hillside Streets

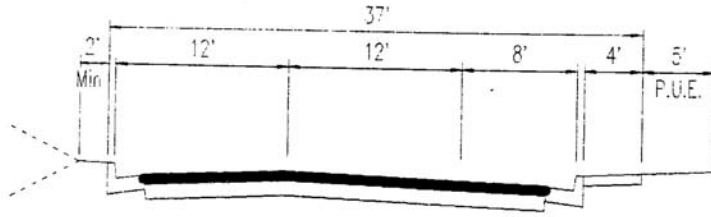
Private Hillside Streets may be permitted in the Open Space area and future Hillside Reserve Estate community. These streets shall be designed to provide safe access and circulation, while minimizing grading impacts. Special street sections for the community provide for 37-foot rights-of-way when houses are located on only one side of the street and 49-foot rights-of-way when houses are located on both sides of the street. Private Hillside Street Sections are shown on Exhibit 3-7.

Mine Access Road

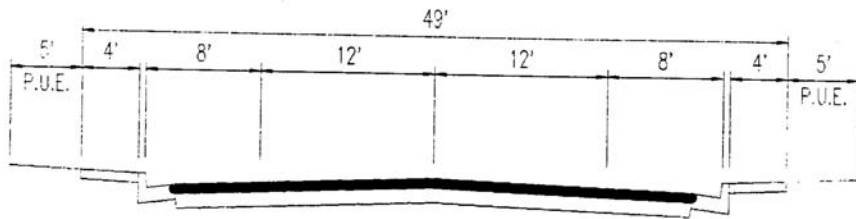
There is currently a 30-foot easement to accommodate the existing haul road which extends from Bedford Canyon Road to the adjacent sand mine operation. The on-site portion of the haul road will be graded to an acceptable gradient for travel purposes. The developer shall construct or guarantee the construction of the necessary gate facilities at any public road intersection. The gate facilities will be installed when directed by the Director of Public Works when an alternate access is approved. The alignment of the haul road is shown on Exhibits 3-4 and 3-6.

3.3.2 TRAILS SYSTEM

A 6-foot sidewalk trail will be included along Eagle Glen Parkway, as shown on Exhibit 3-4. The sidewalk trail will extend from the Bedford Canyon Road intersection to the elementary school site. This backbone pedestrian circulation system provides access to major community features including the Commercial Center, school, and parks. The internal public roadways which incorporate the trail system are made pedestrian-friendly by including parkways and additional landscaped areas adjacent to the trails.



SECTION 1 : Houses on One Side Only



SECTION 2 : Houses on Both Sides

- Note
- 1) With the exception of the street sections outlined on this Exhibit, all other private street standards shall be applicable.
 - 2) These street sections apply to single family estate development with private streets.

SPECIFIC PLAN

Eagle Glen

City of Corona, California

CORONA COUNTRY CLUB ESTATES, L.L.C.

10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-7

**PRIVATE HILLSIDE
STREET SECTIONS**

N.T.S.

SECTION 3: DEVELOPMENT PLAN

3.3.3 CIRCULATION SYSTEM REQUIREMENTS

1. General Circulation Requirements

- a. Each building or lot shall have permanent access to a street which the building or lot abuts.
- b. An agreement based upon the traffic study shall be prepared which assigns the percentage of improvement responsibility for all mitigation measures identified as requiring a ‘fair share’ contribution from the developer. The developer shall comply with all traffic mitigation measures in accordance with the traffic improvement phases outlined in the Final EIR.
- c. All Secondary Arterials and Collectors will be designed to restrict driveway access and provide additional landscaping along edges, except as noted in Section 4.3.1.
- d. An applicable reimbursement and fee program shall be established to provide reimbursements to the developer for any circulation improvement expenses incurred beyond an agreed-upon, fair-share amount.

2. Public Street System Requirements

- a. The Commercial Center shall be designed in a manner that facilitates future public transportation options.
- b. Street layout and design shall consider the natural contours of the land, soil types, geologic conditions, drainage patterns and storm water and natural features to be preserved and shall avoid extensive traffic control measures, as well as be consistent with the City’s Street Design Standards.
- c. The street system shall consider future developments adjacent to Eagle Glen.
- d. The street system shall consider safety feature and economy of maintenance.
- e. Circulation design shall provide for access of emergency vehicles necessary to serve the project area and provide at least two points of paved access at all times. One of these points of access will be Bedford Canyon Road; the other will be an extension of Cajalco Road as discussed in Section 3.3.1.
- f. Access to school site shall be subject to review and approval of the Public Works Director in consultation with the Police Chief and school district.

SECTION 3: DEVELOPMENT PLAN

- g. Precise alignments of all master planned streets shall be approved by the City Engineer prior to the master map recordation.
- h. Minimum Street centerline radius for all local streets is 500 feet. This can only be reduced by submittal of super elevation and sight distance calculations justifying the reduction for the review and approval by the City Engineer.
- i. Minimum curb return radius shall be 25 feet for local and collector streets and 35 feet for secondary and major arterial streets.
- j. Fire hydrant spacing shall be spaced a maximum of 300 feet apart in single family residential areas, and 250 feet apart in commercial areas.
- k. Street lighting spacing and level of lighting shall conform to city lighting standards and be reviewed and approved by the Director of Public Works. Special lighting standards will require approval of the City Engineer.
- l. All lighting standards, fire hydrants, traffic signs, and street name sign poles shall be located in the standard location behind the curb. Sidewalks shall transition and flare around these facilities.
- m. Wheelchair ramps are required at all street intersections that have sidewalks.
- n. All cul-de-sacs shall provide direct lines of sight and shall not exceed the 500 foot maximum length currently allowed by the City of Corona Municipal Code, unless otherwise approved by the Fire Chief, the Chief of Police, and the Board of Zoning Adjustment.
- o. All other street design, criteria, materials, methods, etc., not mentioned in this Specific Plan shall conform to all applicable codes, standards and requirements in use on the date the Tentative Subdivision Maps are approved.

3. Private Street System Requirements

- a. A homeowners association will be required in any development utilizing private streets. Said association shall be responsible for maintenance of all private streets and private street lighting systems, including provisions for enforcement of parking restrictions.

SECTION 3: DEVELOPMENT PLAN

- b. Neighborhood entries shall have sidewalks on both sides and may be designed with expanded easements sufficient to accommodate private neighborhood entry treatments such as: private gates, neighborhood directories and control structures, landscaped medians, turnouts and turnarounds, stamped or decorative pavement, neighborhood monumentation.
- c. Street width shall be private street easement width, including sidewalks, where required. The City Engineer may approve and/or require rolled curb.
- d. All cul-de-sacs shall provide direct lines of sight and shall not exceed the 500 foot maximum length currently allowed by the City of Corona Municipal Code, unless otherwise approved by the Fire Chief, the Chief of Police, and the Board of Zoning Adjustment.
- e. Maximum grade shall be ten percent except that steeper grades may be allowed where determined appropriate by the Public Works Director, in consultation with the Police Chief and Fire Chief.
- f. Plans for all private streets, including street light system, traffic control markings, striping, and sign locations shall be designed by an R.C.E. and be reviewed and approved by the City Engineer.
- g. All streets shall have street name signs at each intersection. All private streets shall be labeled with the name plus the word 'private. At intersections with City-maintained streets the street name sign shall be in accordance with Std. Plan No. 704 (except it shall also include the word 'private'").

3.4 PUBLIC FACILITIES

Services and utilities for Eagle Glen will be provided through the overall development of the project by participating builders and developers.

This Public Facilities section describes the general location, usage, and capacities of all services and facilities which will be provided to the Eagle Glen community including water, waste water, drainage, and flood control improvements.

Master Plans for water, sewer, and drainage facilities have been prepared to identify facilities needed for ultimate development of this project. The Master Plans are included with this document as Sections 3.4.1, 3.4.2, and 3.4.3.

SECTION 3: DEVELOPMENT PLAN

3.4.1 WATER FACILITIES

The Eagle Glen water distribution system has been designed to adequately satisfy the water requirements for a combination of residential, commercial, recreational, landscaping, and fire fighting purposes. Domestic water service will be provided to the Specific Plan area by the City of Corona. Reclaimed water will be provided by an off-site waste water treatment facility. Agricultural water may be used to supplement reclaimed water for reuse.

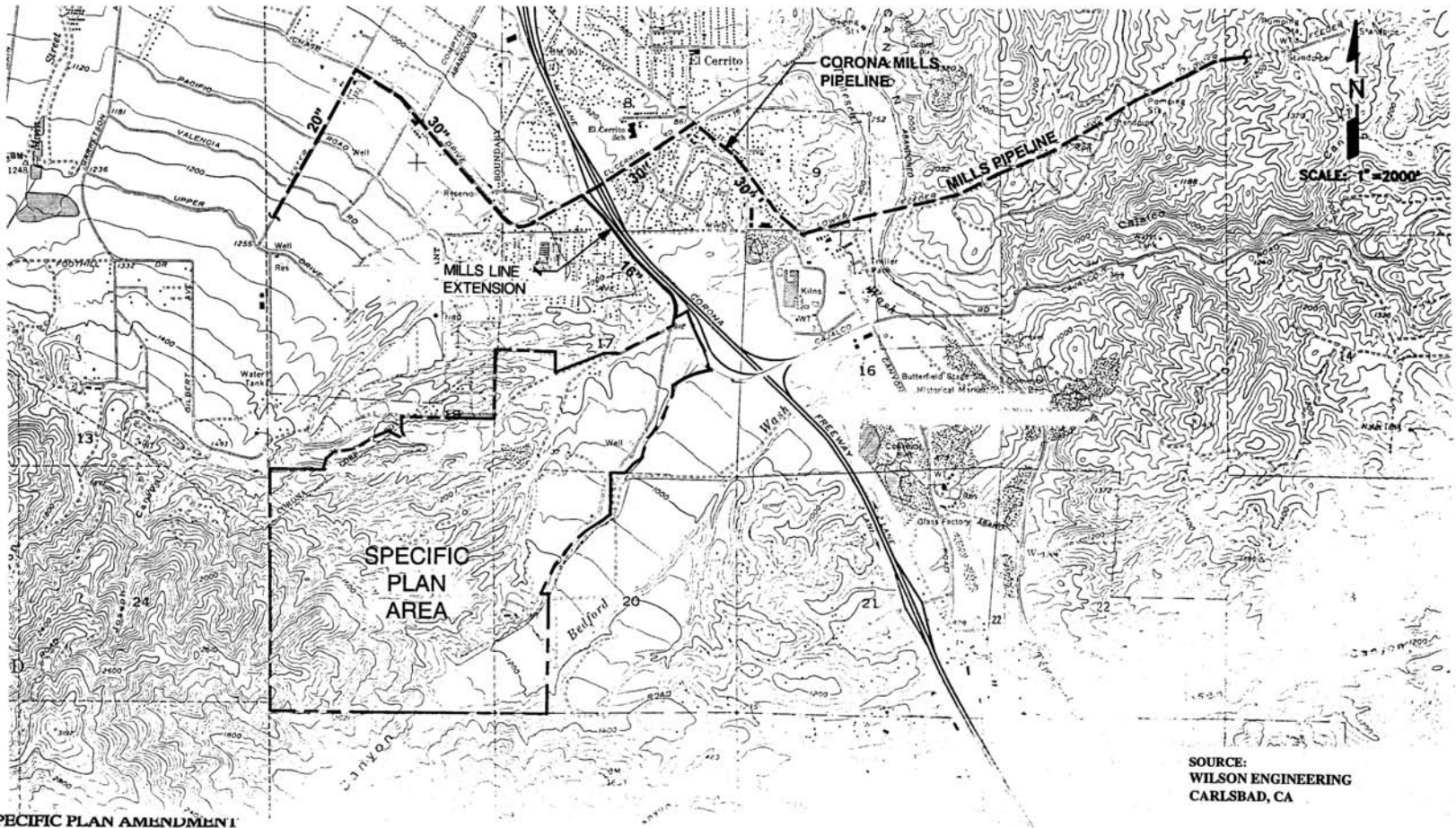
1. Domestic Water System

Eagle Glen development pads range in elevation from a low of approximately 920 feet to a high of approximately 1,470 feet. Because of the range of elevations on the site, the Eagle Glen development will be served by three water pressure zones. The eastern portion of the site will be served by the 1220 Zone, which has a reservoir high water of 1,220 feet. The middle portion of the site will be served by the 1380 Zone, which has a reservoir high water elevation of 1,380 feet. The western portion of the site where elevations exceed 1,240 feet will be served by constructing a hydropneumatic pump station off the 1380 Zone water system.

Currently, there is existing development located adjacent to the northeast portion of the Eagle Glen site that is served by the City of Corona's 1220 Zone water system. The Hayden Reservoir is located approximately one-quarter mile to the north of Eagle Glen. This reservoir has a capacity of 1.6 million gallons and a high water line of 1,220 feet. From this reservoir, there is an existing 16-inch water line located in Newton Street and an existing 12-inch line in Bedford Canyon Road adjacent to the Eagle Glen boundary. Although the 1220 Zone portion of the Eagle Glen project will be served by pressure reducing off the proposed 1380 Zone water system, connections will be made to the existing 1220 Zone system to provide a secondary supply of water to Eagle Glen. Use of existing water capacity in the 1220 Zone for more than 200 dwelling units may be permitted in accordance with the approved Water Master Plan and the approval of the Public Works Department.

The Mills Pipeline supplies the 1380 Zone water system in the vicinity of Eagle Glen. The Mills Pipeline conveys northern California water that has been treated at the Mills Water Treatment Plant in Riverside. The Mills Pipeline terminates approximately 3,000-feet northeast of Eagle Glen near the intersection of Temescal Canyon Road and La Gloria Road. The location of the existing Mills Pipeline Mills Line extension to Eagle Glen is shown on Exhibit 3-8.

At the termination of the Mills Pipeline, the City of Corona has a connection structure and capacity rights for 7.42 mgd. From this location, the 30-inch Corona Mills Pipeline was constructed in Temescal Canyon Road, El Cerrito Road, and Chase Drive. Water for the 1380 Zone has been provided to Eagle Glen by connecting to the Corona Mills Pipeline and constructing an off-site water line to Eagle Glen.



SOURCE:
WILSON ENGINEERING
CARLSBAD, CA

SPECIFIC PLAN AMENDMENT

Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.
10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-8
MILLS LINE ALTERNATIVES

0 1000 2000 FORM
JUNE 2001
form/eagle-glen/spa-01-06/11X17title.dwg

SECTION 3: DEVELOPMENT PLAN

A Sub-area Master Plan of Water for Eagle Glen was prepared by Wilson Engineering in November, 1996 and updated on March 30, 1998. The report provides information regarding projected water demands and recommends facilities associated with water service to Eagle Glen. The design criteria utilized to evaluate the water system for Eagle Glen were established in accordance with the May 1995, Water System Master Plan for the City of Corona, prepared by Montgomery Watson. Table 2 presents the water demand factors used in projecting the total water demand for Eagle Glen. The fire flow requirements for each land use are also listed.

Table 2
WATER DEMAND FACTORS AND FIRE FLOW REQUIREMENTS

Land Use	Per Capita Demand Factor		Required Fire Flow, GPM	Fire Flow Duration, Hours
	GPCPD	Capita/household		
Estate Residential	220	3.5	1,500	2
Single Family Residential	220	3.5	1,500	2
Planning Reserve Area	220	3.5	1,500	2
Commercial	-	-	3,000	3
School	-	-	3,000	3
Park	-	-	0.00	-

Other criteria utilized by the Wilson Sub-area Master Plan are described below:

- a. Peaking factors used to convert average daily demands to maximum day demands and peak hour demands vary slightly depending on the water service zone. For the 1220 Zone, peaking factors of 1.8 and 3.5 were used to compute maximum day and peak hour demands, respectively. For the 1380 Zone and the Eagle Glen Hydropneumatic Zone, peaking factors of 2.0 and 4.0 were used to compute maximum day and peak hour demands, respectively.
- b. In general, the water distribution system has been designed to maintain static pressures between 60 PSI and 150 PSI. This criteria was used as a guideline for dividing the project between the three proposed water service zones. The on-site water system has been designed to maintain a minimum residual pressure of 20 PSI during maximum day demand plus fire flow conditions. Water mains are sized to maintain a maximum velocity of ten feet per second under any flow condition.

SECTION 3: DEVELOPMENT PLAN

- c. A reservoir has been constructed to provide storage for emergency, operational, and fire protection purposes. Emergency storage should be 0.5 times maximum day demand for service zones with more than one source of supply and 1.0 times maximum day demand for service zones with only one source of supply. Operational storage should be 0.33 times maximum day demand. Fire flow storage should be provided based on the required fire flows and duration presented in Table 2.

Table 3 presents the projected water demand for Eagle Glen by water service zone. As shown in Table 3, the total projected water demand for the site is 1,111,040 gpd. The projected maximum daily demand is 2,150,764 gpd (1,511 gpm) and the projected peak hour demand is 4,265,800 gpd (3,062 gpm).

**Table 3
EAGLE GLEN PROJECTED WATER DEMANDS
PER CAPITA METHOD**

Water Pressure Zone	Residential Units	Per Capita Factor, GPCPD	Capita/Home	Total Water Demand GPD	Maximum Day Demand, GPD	Peak Hour Demand, GPD
1220 Zone	464	220	3.5	357,210	643,104	1,250,480
1380 Zone	742	220	3.5	571,340	1,142,680	2,285,360
Hydropneumatic Zone	237	220	3.5	182,490	364,980	729,960
Total	1,443			1,111,040	2,150,764	4,265,800

The 1220 Zone portion of Eagle Glen is proposed to be served by pressure reducing off the proposed 1380 Zone water system. A pressure reducing station located between the park sites has been constructed to accommodate flows up to approximately 3,300 gpm to meet the maximum day demand plus fire flow requirements of the 1220 Zone. A 16-inch pipeline has been constructed from the pressure reducing station to the existing 16-inch line and extended to the existing 12-inch pipeline in Bedford Canyon Road. All other pipelines within the 1220 Zone are adequate as 8-inch. The conceptual Eagle Glen Water System is shown on Exhibit 3-9.

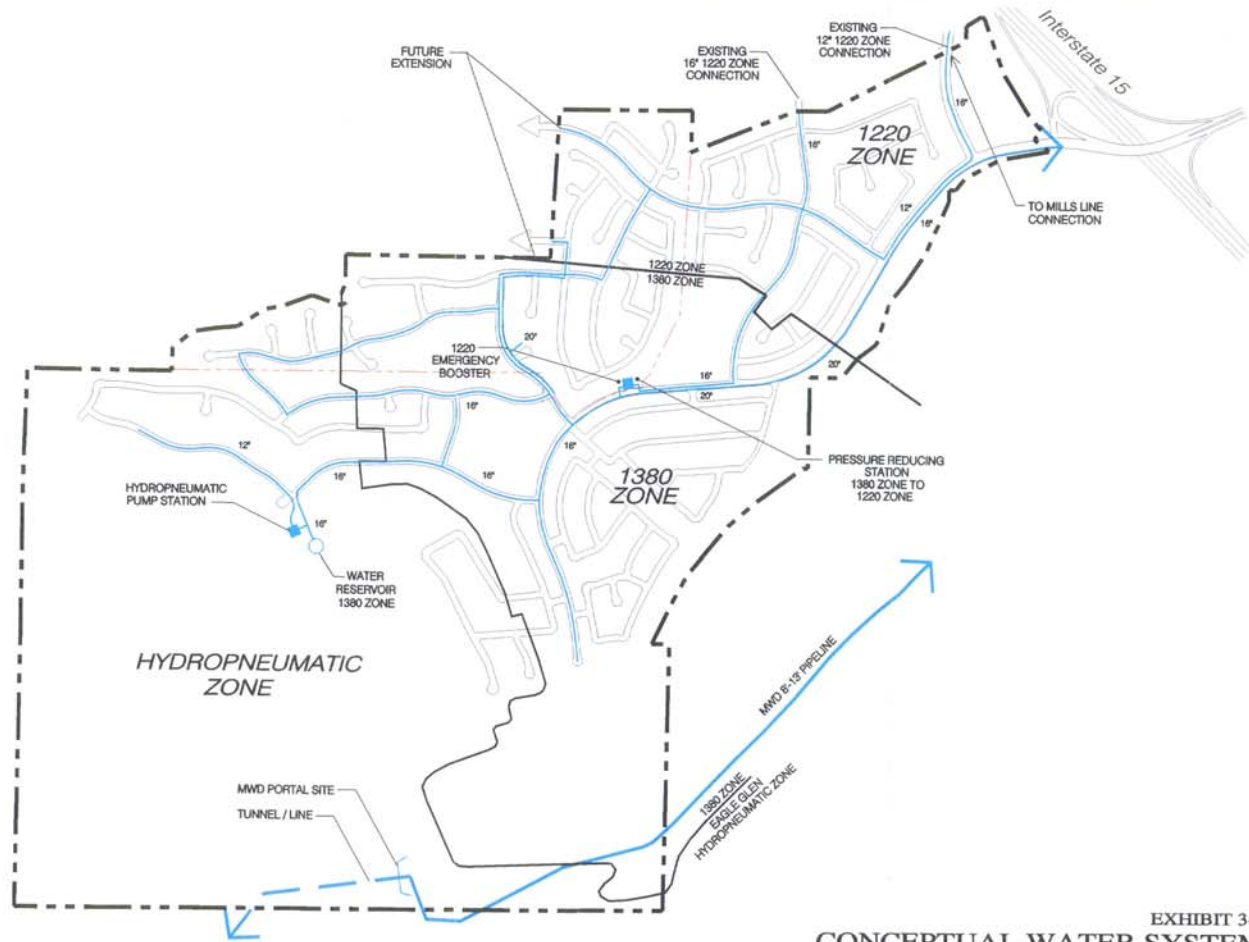
The connections into the existing pipelines will provide a secondary source of water to the 1220 Zone portion of Eagle Glen in the event that water cannot be supplied via the on-site pressure reducing station. The 1220 Zone water booster station is located in the same building as the on site pressure reducing station. This station is designed with an emergency booster station to lift

SECTION 3: DEVELOPMENT PLAN

water from the 1220 Zone system to the proposed on-site 1380 Zone system in an emergency case scenario. This station should be designed with a firm pumping capacity to meet the projected maximum day demand.

The major 1380 water pressure zone improvements have been constructed to supply water to Eagle Glen consist of a pipeline extension from the Corona Mills Pipeline, construction of flow and pressure control facilities, and construction of the 1380 Zone reservoir. The 16-inch Corona Mills Pipeline extension will convey water from the existing Corona Mills Pipeline to the 1380 Zone reservoir.

In addition to the 16-inch connection to the Corona Mills Pipeline, the development will be responsible for connecting 16-inch pipelines in both the 1220 pressure zone and the 1380 pressure zone crossing from north to south, a pipeline connecting to the reservoir at elevation 1,380 feet and an 10-inch pipeline to the golf clubhouse and adjacent residential area. Most other on-site pipelines will be 8-inch diameter.



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Eagle Glen

City of Corona, California
 CORONA COUNTRY CLUB ESTATES, L.L.C.

10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-9 CONCEPTUAL WATER SYSTEM



SECTION 3: DEVELOPMENT PLAN

The proposed 1380 Zone reservoir will be supplied by the Corona Mills Pipeline extension and will have a high water line of 1,380 feet to match the City of Corona's existing 1380 Zone facilities. The 1380 Zone reservoir has been sized to provide storage for the entire Eagle Glen project. Based on the reservoir storage criteria described in this section, a reservoir capacity of approximately 2.35 million gallons will be required. Table 4 provides a summary of the 1380 Zone storage requirements by each of its components.

Table 4
1380 ZONE RESERVOIR STORAGE

Storage Type	Amount, GM
Operational	0.72
Emergency	1.09
Fire Flow	0.54
TOTAL	2.35

The Eagle Glen developer, Corona Country Club Estates, proposes to provide 2.0 million gallons of domestic water storage. The reservoir will be approximately 32 feet in height, with a high water level of 1,380 feet. The new reservoir in conjunction with the Hayden reservoir and the pump station will be adequate to serve the 1380 Zone until future connections are made to the existing 1380 Zone in South Corona.

Eagle Glen residential units with pad elevations ranging from 1,240 to 1,470 feet are proposed to be served by constructing a hydropneumatic pump station off the 1380 Zone water system. The hydropneumatic pump station is proposed to be located adjacent to the 1,380 Zone reservoirs and will be designed to produce a hydraulic grade line of 1,610 feet. With this hydraulic grade line, the static pressures within the hydropneumatic zone will range from 61 to 160 PSI.

The hydropneumatic pump station will contain domestic pumps with a firm capacity to meet the peak hour demands of this zone. The pump station will also be required to include a 1,500 gpm standby fire pump to provide fire protection to the homes in this zone. The majority of the piping in this zone is 8-inch with some 10-inch and 12-inch piping, as indicated on Exhibit 3-9. No additional reservoir will be required for the Eagle Glen Hydropneumatic Zone.

The backbone water distribution system will be located within the proposed street system and will be installed by the master developer. The interior water lines will be installed by the merchant builders. The water line sizes shown on Exhibit 3-9 have been estimated for the Conceptual Water System. Final sizes will be determined during the final design process to the satisfaction of the City of Corona Public Works Department.

SECTION 3: DEVELOPMENT PLAN

Any additional water facilities that are specified by the approved Water Master Plan shall also be constructed to ensure that existing and future water systems will operate in accordance with City requirements. This includes off-site pipeline construction in the 1220 Zone. The City of Corona will use its best efforts to create an applicable reimbursement program to reimburse the developer for any expenses incurred beyond an agreed upon fair-share amount.

2. Reclaimed Water System

In addition to the potable water system improvements, Eagle Glen will be constructing facilities to make reclaimed water available for landscape irrigation of the golf course, parks, schools, community facilities district and Homeowners Association properties. The waste water treatment facility is not initially expected to produce enough reclaimed water to meet the irrigation demands within the project. The City has proposed to construct a well at the treatment plant site. This well water will be used to supplement the volume of reclaimed water from the wastewater treatment plant. From the wastewater treatment facility, the reclaimed well water blend will be pumped to the various landscape irrigation uses. The golf course will have its own irrigation system to distribute reclaimed water. Connection will also be made for other irrigation uses utilizing reclaimed water. Exhibit 3-10 shows the Conceptual Reclaimed Water System.

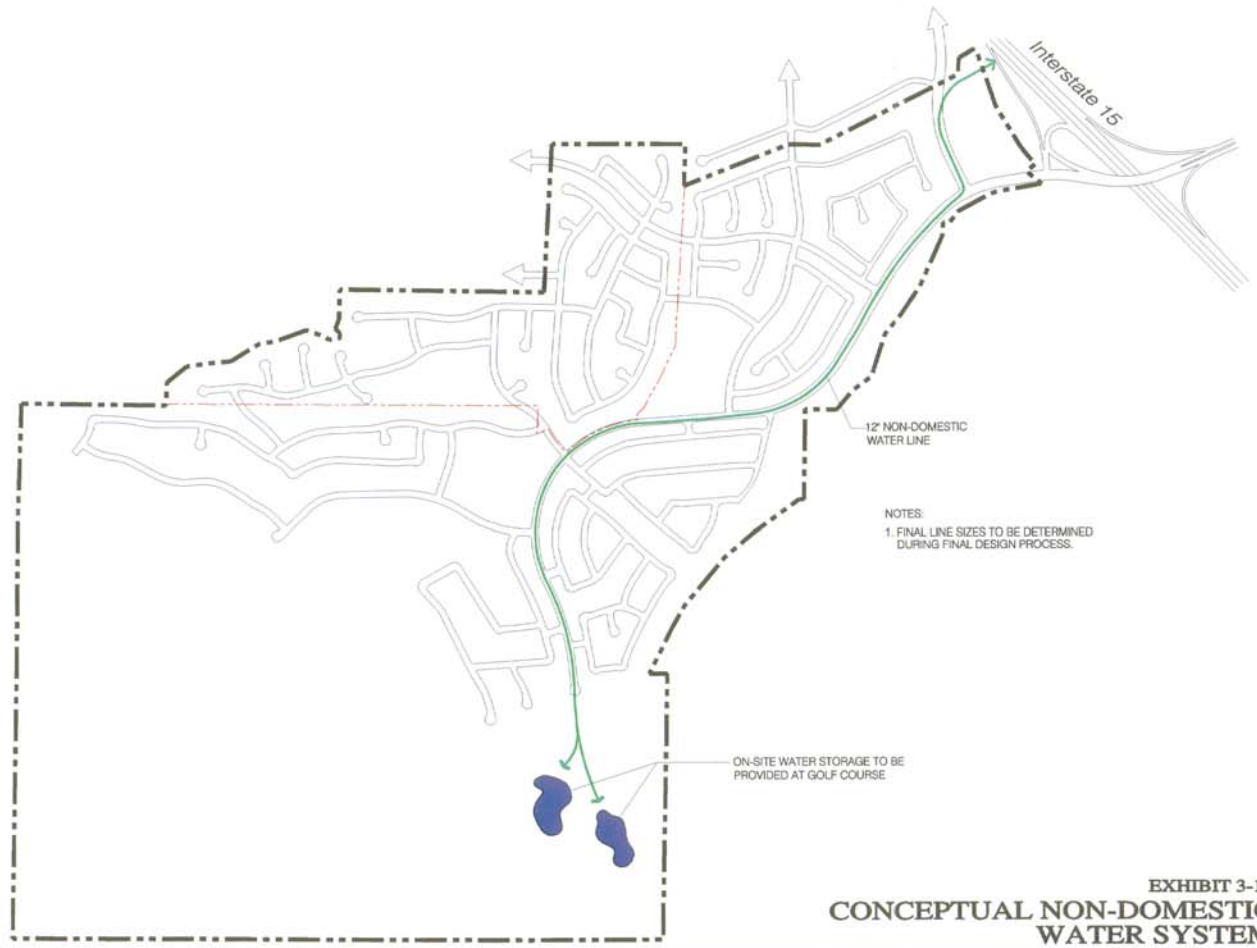
The primary use of reclaimed water for irrigation at Eagle Glen will be the golf course and the city parks. There is also potential for irrigation of the school site, parkway landscaping, and other common areas with reclaimed water.

Final non-domestic system sizing will be determined during the final design process to the satisfaction of the City of Corona Utility Services Department.

3. Metropolitan Water District Line

The Metropolitan Water District (MWD) is currently in the planning stages for the installation of a water pipeline which is planned to pass through the southern corner of the Eagle Glen site. The conceptual alignment is shown on Exhibit 3-9. Pipe diameter may vary from 8.5 to 13 feet. To the west, the pipeline will be carried through the Santa Ana Mountains via a tunnel. The tunnel is expected to range from 14 to 17 feet in excavated diameter. The portal, where the line enters the tunnel, will be located adjacent to the golf course and is anticipated to be approximately one acre in area. The pipeline will then continue eastward under the golf course and off-site, following the trend of Bedford Wash. Within the golf course, the pipeline right-of-way (approximately 100-200 feet) will contain the underground pipeline system, and may also include surface components such as air vents, valve vault structures and manways.

Once installed, the pipeline system will only rarely require regular operations and maintenance. Components of the system will be remotely operated.



NOTES:
1. FINAL LINE SIZES TO BE DETERMINED DURING FINAL DESIGN PROCESS.

ON-SITE WATER STORAGE TO BE PROVIDED AT GOLF COURSE

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City of Corona, California
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10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-10
CONCEPTUAL NON-DOMESTIC WATER SYSTEM



SECTION 3: DEVELOPMENT PLAN

3.4.2 WASTE WATER SYSTEM

There are no existing sewers within the City of Corona system capable of serving the Eagle Glen project. Off-site sewer system construction to either existing City of Corona sewage treatment Plants No. 1 or No. 2 is impractical from an economic standpoint. In addition to the domestic sewage disposal demands for the project, it is desirable to provide reclaimed water for the irrigation of the golf course facilities to be constructed within Eagle Glen. This use of the reclaimed water is consistent with the water conservation efforts as specified in the City of Corona's Water Master Plan. Therefore, an advanced tertiary waste water treatment facility will be constructed off-site in conjunction with the development of Eagle Glen. The facility, which will be located on Temescal Canyon Road, will handle the waste water discharge and supply the treated water for irrigation purposes to the golf course complex, the proposed city park and possibly the school and other landscaped areas.

The Waste Water Treatment Facility will receive flows from the existing 150 homes in the adjacent Tract 22909 an estimated 250 future dwelling units from tributary lands outside the Specific Plan area, and Eagle Glen. As shown in Table 5, the estimated average waste water flow from these sources equals 559,260 gpd. Based on this estimate and expected growth needs, the design flow for the Waste Water Treatment Facility will be 1,000,000 gpd.

All of the Eagle Glen land use areas will be able to sewer to the waste water treatment facility by gravity flow. The options for private septic systems, low pressure systems, and pumped sewer systems as alternatives to connection to the Eagle Glen waste water treatment facility will be considered for the Hillside Reserve Area when development plans are prepared. Exhibit 3-11, Conceptual Sewer System, depicts the conceptual sewer trunk system within Eagle Glen.

All pipe alignments will be shown in the street system. Should grading and street alignments create extremely deep sewers or other undesirable conditions, the Utility Services Department will consider other alignments during review of the individual subdivision grading and improvement plans.

The existing temporary lift station at Tract No. 22909 has been redesigned to accommodate up to 870 homes within the Eagle Glen Specific Plan area until such time as the Waste Water Treatment Facility and related improvements are completed. Eagle Glen may propose to construct modifications to this lift station along with another force main from the lift station to the existing gravity manhole at Chase Drive and California Avenue. Pump improvements and an 8' parallel force main would provide for as many as 1390 residential units within the Eagle Glen Specific Plan Area. Improvements to increase the capacity of the existing sewer facilities are subject to the approval of the Water Utilities Director. Treatment facility approvals will be processed in a timely manner by the City of Corona.

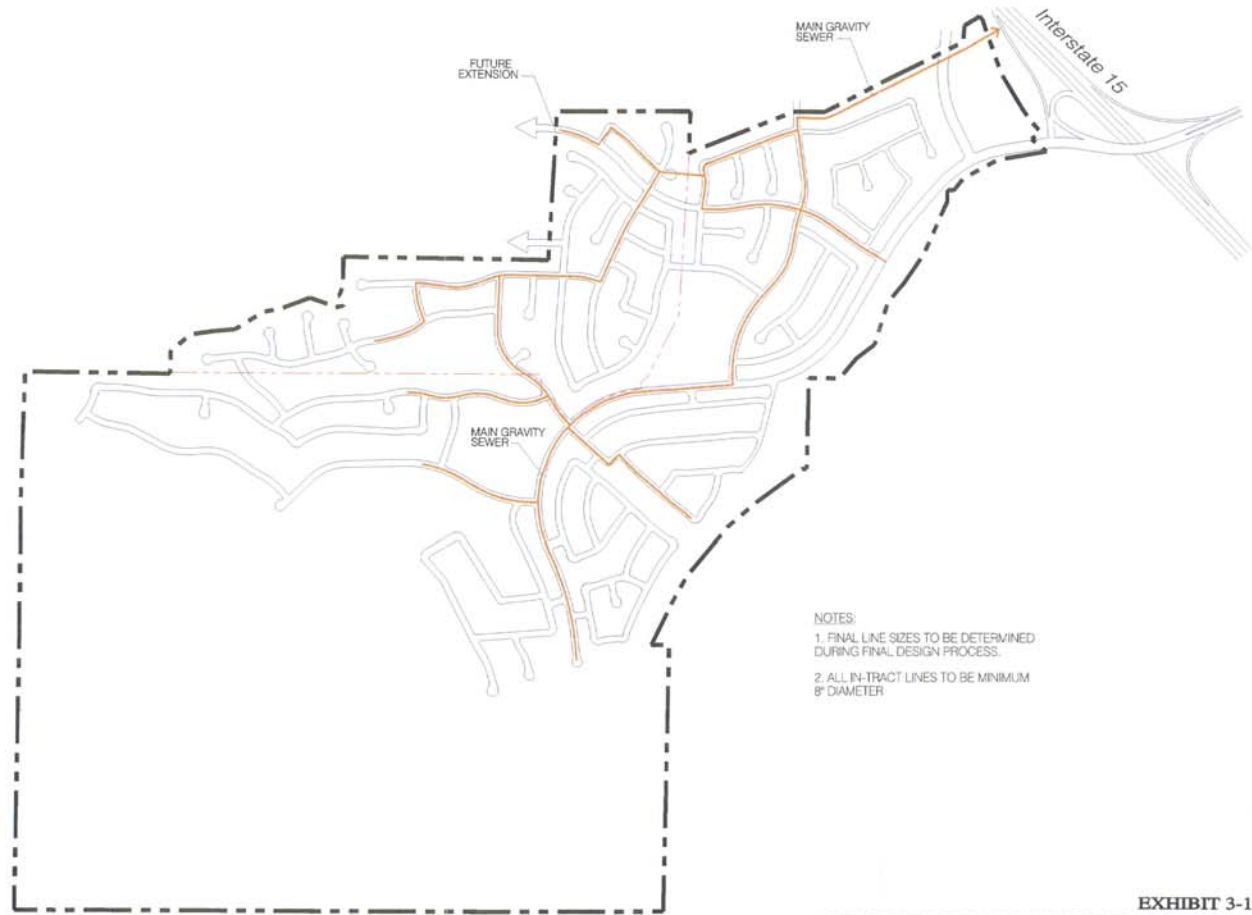
**TABLE 5
EAGLE GLEN WASTE WATER GENERATION**

Land Use	Acres	Dwelling Units	EST. POP.	Generation Factors	Units	Waste Water Generation, GPD
Existing Tract 22909		150		270	gpd/du	40,500
Future Area Development		250		270	gpd/du	67,500
Eagle Glen		1,443		270	gpd/du	389,610
School			800	20	gpd/person	16,000
Commercial	14			2,220	gpd/acre	31,080
Park	18			150	gpd/acre	2,700
Golf Course	178			50	gpd/acre	8,900
TOTALS		1,843				556,290

All sewer facilities for the project shall be designed and constructed at the developer's expense, or satisfactory arrangements (such as the Municipal Financing Program) that are acceptable to the City of Corona shall be made. The City of Corona will use its best efforts to create an applicable reimbursement program to reimburse the developer for any expenses incurred beyond an agreed upon fair-share amount. The master developer will install the sewer main in the backbone street system. The sewer lines within each neighborhood will be installed by merchant builders. An agreement between the developer and the City of Corona will be executed for the purchase of reclaimed water for irrigation.

As with other backbone infrastructure systems, facilities will be phased to provide incremental capacities capable of serving the level of development within each phase of project build-out. The developer will submit a plan of services for each incremental phase to the Utility Services Department for approval. The responsibility of major incremental improvements to the system will be carried by the developer.

Portable septic or pumpable sanitary facilities may be utilized on the golf course and driving range, as approved by the City of Corona.



NOTES:
 1. FINAL LINE SIZES TO BE DETERMINED DURING FINAL DESIGN PROCESS.
 2. ALL IN-TRACT LINES TO BE MINIMUM 8" DIAMETER

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Eagle Glen

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CORONA COUNTRY CLUB ESTATES, L.L.C.
 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-11
CONCEPTUAL SEWER SYSTEM



SECTION 3: DEVELOPMENT PLAN

3.4.3 DRAINAGE AND FLOOD CONTROL

1. Existing Drainage Conditions

The natural drainage patterns that are dominant in the project vicinity consist of two major watercourses. To the southeast is Bedford Canyon Wash, which has a watershed of approximately 4,500 acres that reaches to the ridgeline of the Santa Ana Mountains, southwest of the site. This watercourse traverses 2,700 feet of this property to the southeast corner.

To the north is a natural watercourse which drains approximately 1,530 acres of the Joseph Canyon area. This stream traverses the northern portion of the site from the east to west and discharges into the existing Joseph Canyon Channel, which runs along the north boundary easterly to the existing 10 x 12 reinforced concrete box culvert at the I-IS Freeway. This watershed currently contributes approximately 1,770 cfs to the temporary inlet to this 13 wide by 7' high rectangular concrete open channel facility.

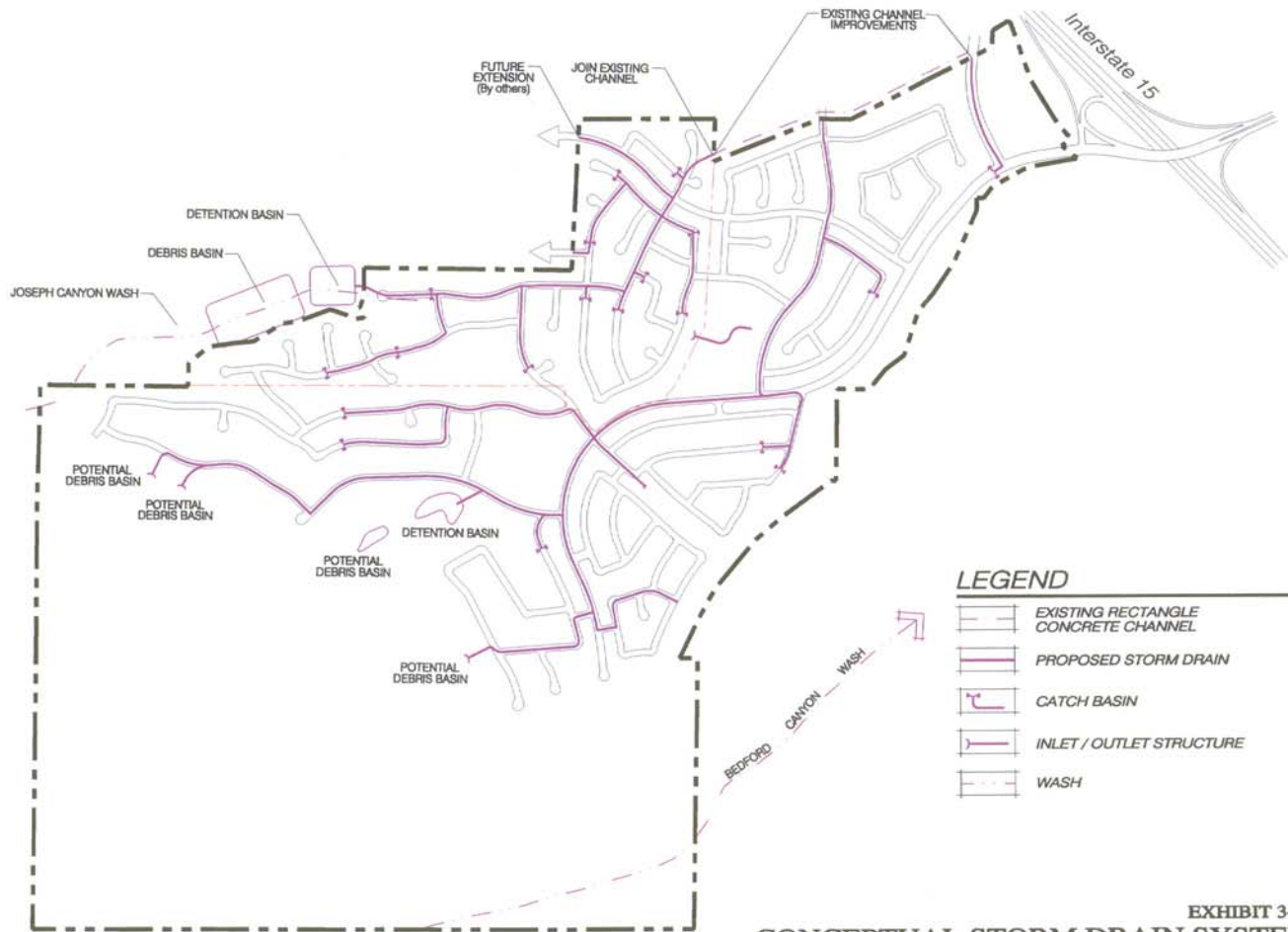
The majority of the Eagle Glen property is tributary to the Joseph Canyon watercourse. Within the Eagle Glen property boundaries, the natural watercourses flow in a northeasterly direction. These watercourses convey runoff from the higher ground, within the project site, to the Joseph Canyon drainage facilities.

The majority of the Eagle Glen project improvements will occur within the Joseph Canyon drainage area. The portion of the project that is tributary to Bedford Canyon Wash will consist of the construction of a golf course.

2. Drainage Plan

The drainage plan for the Eagle Glen project emphasizes the preservation of existing natural drainage courses to allow the storm runoff to be conveyed in accordance with the natural topographic and stream patterns. In those areas of development where natural drainage courses are interrupted, a storm drain system is planned to collect and safely convey the storm runoff through the Eagle Glen project to a safe point of discharge.

The proposed drainage system will include street conveyance, pipe conveyance, a detention basin and debris basins, if required. The drainage plan has been designed to allow for the safe conveyance of the 100-year frequency storm runoff through the Eagle Glen site. Approximate locations of drainage facilities are shown in Exhibit 3-12. A precise facility location and sizing will be determined during tract map and improvement plan preparation.



LEGEND

	EXISTING RECTANGLE CONCRETE CHANNEL
	PROPOSED STORM DRAIN
	CATCH BASIN
	INLET / OUTLET STRUCTURE
	WASH

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 CORONA COUNTRY CLUB ESTATES, L.L.C.
 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-12
CONCEPTUAL STORM DRAIN SYSTEM



SECTION 3: DEVELOPMENT PLAN

Development of the Eagle Glen project will result in changes to existing flow paths and changes to storm runoff volumes, peak flows and velocities. Surface runoff volumes and peak flow rates will increase due to the portions of the impervious surfaces associated with road, and residential development.

If analysis of the existing downstream drainage facilities indicates that these facilities are unable to accept this increase in runoff, then mitigation will be required. This mitigation of increased runoff will be accomplished with the use of a detention basin and a debris basin located within the proposed golf course and a debris basin and a detention basin within the Joseph Canyon Wash immediately upstream of the development of Planning Area 5. Any increase in velocities will be mitigated with the use of energy dissipating structures located at the outlet of the drainage facilities.

Detention basins would be utilized to reduce the peak clear flow runoff tributary to the proposed development and to the existing facilities. A significant increase in runoff from natural areas is attributed to debris-laden flow. The development of the Eagle Glen project will reduce the amount of potential debris-producing area tributary to the existing facilities. In addition, the use of debris basins located at the inlet to storm drains collecting runoff from natural areas will further reduce the potential for debris-laden flow.

The existing drainage facility in Joseph Canyon has a capacity of approximately 3,000 cfs. Through the construction of the debris basin and a detention basin facilities in the golf course and within the Joseph Canyon Wash, development runoff to this existing facility will be significantly reduced. Therefore, runoff to the 1-15 culvert and downstream properties will be reduced through development of the Eagle Glen project. The watershed tributary to Bedford Canyon Wash will not present a flood hazard to the proposed development. The proposed residential units will be located on a plateau ranging from 60 feet to 100 feet above the canyon bottom.

However, a portion of the proposed golf course will be contained within the Bedford Canyon drainage course. In order to ensure that the golf course is protected from potential damage, the course will be elevated above the 100-year floodplain while still allowing the runoff to pass through the course. Slope protection will be utilized to protect any manufactured slopes from erosion due to storm flows through the golf course. The construction of the golf course within the 100-year floodplain will not significantly alter drainage patterns or sediment transportation within Bedford Canyon Wash that could result in adverse impacts to the downstream properties.

The Eagle Glen drainage plan in total will not result in any adverse impacts to upstream or downstream properties in either the Joseph Canyon or Bedford Canyon Wash watercourses. A flood plain study shall be prepared for the Bedford Canyon Wash to confirm that the golf course facilities are protected from flooding.

SECTION 3: DEVELOPMENT PLAN

The flood plain study should also address potential impacts to the upstream and/or downstream properties which may be caused by development of the golf course. The flood plain study will also address potential impacts from debris flows and the impacts of development upon those flows. Prior to the issuance of the grading permit for the golf course facilities, the studies shall be reviewed and approved by the Public Works Department and any recommended mitigation measure for onsite or offsite impacts shall be incorporated into the project design.

In order to ensure orderly development, the drainage plan will be subject to the following general principles and standards:

1. The project will be subject to the requirements indicated in the Riverside County Flood Control and Water Conservation District (RCFC & WCD) Hydrology Manual as well as being in accordance with the City of Corona flood control standards. A design hydrology study and drainage map will be furnished to the City of Corona to review in conjunction with the processing of the Master Tentative Subdivision Map. In addition, a detailed hydraulic study will be prepared and submitted for City review during the final map and improvement plan review process. These studies will adequately address capacity of existing downstream drainage facilities, and size and location of any proposed detention or debris basins. Proposed debris basins will be sized to accommodate projected debris flows from tributary areas in compliance with RCFC and WCD design standards and as approved by the City of Corona.
2. The design of all interior storm drain facilities will be in accordance with City of Corona and RCFC & WCD design criteria. Storm drain systems will be designed based on a minimum 10-year frequency storm runoff. For sump conditions, a minimum 25-year frequency storm will be applied; and where no secondary outlet is available, a 100-year frequency storm will be utilized. All building pads will be free from flood hazard for the 100-year frequency storm by elevating finished pad elevations one foot above the 100-year water surface. The depth of flow in the streets will not exceed the top of curb elevation during a 10-year frequency storm.
3. Drainage improvements will be designed to ensure the conveyance of the 100-year design flows which may include potential debris-laden flows from the natural drainage areas.
4. Prior to site development, the proposed interior road infrastructure and grading design will be coordinated to ensure that there is not any major diversion of drainage areas between the Bedford Canyon Wash and Joseph Canyon watersheds.
5. The project site will be phased so that 100-year flood protection is ensured in all areas of the development. Interim improvements may be required as phasing of the development progresses.
6. Water courses and 100-year floodplains shall be kept free of all structures and obstructions unless drainage improvements are constructed.

SECTION 3: DEVELOPMENT PLAN

7. A design hydrology study of the Eagle Glen Specific Plan area shall be conducted prior to the final project design. Projected peak flow increases at the 1-15 crossings of Bedford Canyon Wash and Joseph Canyon Wash shall be reduced to no more than existing conditions for existing drainage facilities to adequately handle projected peak flows. This hydrological study shall describe the additional drainage facilities and improvements necessary to reduce any additional flows generated on-site. Bulked flow calculations for the washes should be used for design of structures in accordance with the guidelines in the Riverside County Hydrology Manual. The report shall be reviewed by the City of Corona Public Works Department, and appropriate recommendations after agency review shall be incorporated into the final project design.
8. Use of debris basins to reduce peak flow increases from the development site shall be studied as an alternative. Preliminary plans for debris basins along the Bedford Canyon bypass channel shall be further evaluated in the detailed hydrology study to determine the impacts of debris deposition, nuisance flow interception, and general peak flow reduction. Smaller basins may have similar impacts of peak flow reduction, but offer additional long-term storm water quality benefits. This study shall also identify maintenance programs and responsibility for the smaller basins.

3. Potential Permit Requirements

The Army Corps of Engineers' 404 Permit will be required if the proposed construction and fill occur in existing floodplains. If the proposed project is located outside "The Waters of the United States" then the Army Corps of Engineers has no jurisdiction and a permit is not required. This site contains three blue-line streams within its boundary which could require a permit under the 404 Program.

The California State Fish and Game 1603 Permit will be required if construction is to occur within a natural stream area. The 1603 Permit is the "streambed alteration agreement," which covers the substantial diversion and/or obstruction of the natural flow of a creek, or substantial changes to the bed, channel, or bank of a creek. An alteration agreement is required in virtually every project where a stream course will be affected by grading or the construction of improvements. The development of Eagle Glen Specific Plan will result in the disturbance of some natural stream areas. Therefore, the 1603 Permit will be required by the Department of California State Fish & Game.

SECTION 3: DEVELOPMENT PLAN

4. Maintenance

The Eagle Glen project will require the construction of storm drain facilities as depicted in Exhibit 3-12. Inspection and maintenance of all public storm drain facilities will be required. Maintenance responsibility will either be by a private entity, the City of Corona or by the Riverside County Flood Control and Water Conservation District. Final responsibility shall be determined prior to Tentative Tract Map approval.

Inspection of the drainage facilities should occur regularly, to inspect for such items as damaged pipe, debris plugged pipe, etc. A properly functioning storm drain system is essential to the flood protection of the development.

3.4.4 FIRE AND POLICE PROTECTION

Fire Protection

Fire Protection will be provided by the City of Corona Fire Department. The nearest fire station to serve the project site is located within the South Corona Community Facilities Plan and Mountain Gate Specific Plan area to the north of the Eagle Glen development. There is currently a County Fire Station at the corner of Cajalco and Temescal Canyon Roads.

A Public Safety Facility will be required (shared police and fire facility) to serve the Eagle Glen project and the surrounding area. Although this facility does not need to be located on the Eagle Glen site, the project shall be required to contribute to the construction and operation of such a facility on a fair-share basis. The fair-share participation is to be determined by the Police and Fire Chiefs based on a cost analysis approved by the City Council for such facility. The developer's fair-share contribution shall be paid either at the time of recordation of tentative tract maps proposed within the designated service area for this facility or prior to building permit, as determined by the Police and Fire Chief.

The project applicant shall coordinate with the City Fire Department regarding design standards and fire protection requirements, and will implement these in the final design of all golf course, residential, and commercial structures.

The developer shall provide the specified communications facilities, equipment and land, to provide radio communications capability to the site for police and fire response and other City services in accordance with the approval of this Specific Plan and the conditions of the Annexation #76. (See Section 3.4.6, Communications Facility for more details.)

Because Eagle Glen is within the Wild Land Interface Zone, fuel modification areas are required for any structures adjacent to natural open space, on- or off-site. Refer to Section 5.5 for details of the fuel modification requirements.

SECTION 3: DEVELOPMENT PLAN

Police Protection

Police protection will be provided by the City of Corona Police Department from the main police station located in downtown Corona. The Police Department anticipates the need for an increase in personnel and equipment as a result of project implementation.

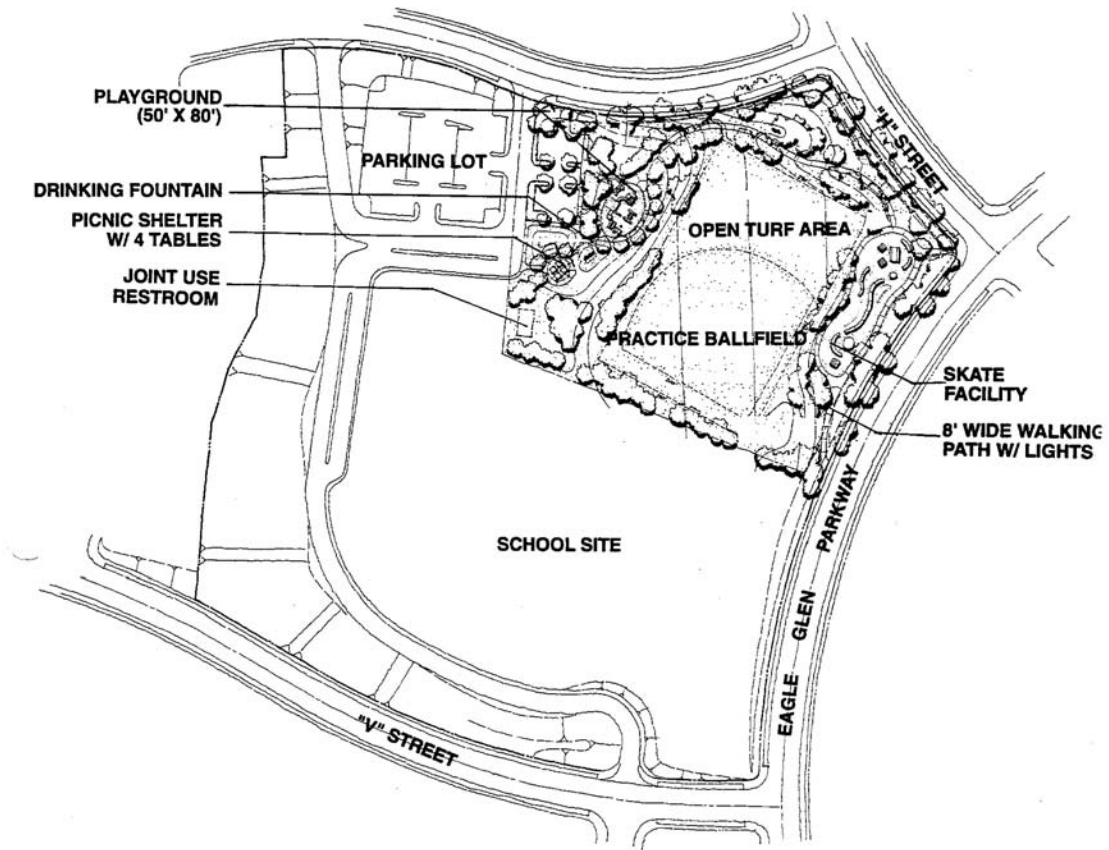
The Police Department currently has a staffing ratio of 1.5 sworn police officers per 1,000 population and .86 support staff per 1,000 population. Based on a project population of 5,152, there will be a need for 8 new police officers and approximately 4 additional support staff to be hired at project build out.

The proposed project is located outside the range of existing communications capabilities. The project shall extend specified radio communications and provide land, equipment, and facilities for operational communications prior to the issuance of a grading permit pursuant to the Pre Annexation Agreement (See Section 3.4.6, Communications Facility for more details).

3.4.5 SCHOOL SITE (S)

The Eagle Glen Specific Plan is located within the jurisdiction of the Corona Norco Unified School District. It is anticipated that the Eagle Glen project will generate up to 914 students in K-6 (generation rate of 0.5853 students/du), 230 students in grades 7 and 8 (generation rate of 0.1475 students/du), and 389 students in grades 9 through 12 (generation rate of 0.2491 students/du) at build out.

The Land Use Plan designates an 8-acre elementary school site in the north central portion of the Specific Plan area along the west side of Eagle Glen Parkway. The site fronts on collector streets to the south, east and north. The 5-acre, joint-use neighborhood park is adjacent to the northeast. Access to the school site shall be designed to ensure adequate circulation for parent and bus traffic without disrupting residential traffic. Conceptual access to the school site is show on Exhibit 3-13. The exhibit illustrates the required provisions of separation of parent and bus access to the school and a looped circulation system around the school site. Final design of the school access shall be subject to the review and approval of the Public Works Director in consultation with the Chief of Police and the Corona-Norco Unified School District.



SPECIFIC PLAN

Eagle Glen

City of Corona, California

CORONA COUNTRY CLUB ESTATES, L.L.C.

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EXHIBIT 3-13

**CONCEPTUAL ELEMENTARY
SCHOOL CIRCULATION PLAN**



N.T.S.

SECTION 3: DEVELOPMENT PLAN

3.4.6 WATER STORAGE/COMMUNICATIONS FACILITY (WS/CF)

An emergency communications facility and community water storage site will be located within the golf course site, as indicated on the Land Use Plan. The communication facility is expected to include a tower approximately 40 feet in height on which microwave and analog transmitters and receivers may be mounted and a reinforced concrete building having a floor area of approximately 230 square feet, in which related equipment may be housed. The communications facility is intended to serve Eagle Glen and other properties in the surrounding area.

The permanent communications facility, including both the physical improvements and the land parcel on which the improvements are located, shall be conveyed by the developer to the City of Corona prior to occupancy of any residential or commercial structure within Eagle Glen. No grading permits for residential structures will be issued prior to the (temporary or permanent) communications facility becoming operational. The temporary system shall be in place and functional prior to grading and shall remain in place until such time as the permanent communications facility is conveyed to the City.

The community water storage reservoir will be located near the communications facility. The reservoir, which will provide domestic water service to residents of Eagle Glen, is expected to have a capacity of approximately 2.0 million gallons. It is anticipated that grading will allow the reservoir to be nestled into the hillside in order to reduce its above-ground profile. The communication facility and water reservoir will be located on a site having an area of one acre or less, and will be accessible via a shared 25-foot, all-weather road.

3.4.7 PUBLIC FACILITIES REQUIREMENTS

The following public facilities requirements shall apply to all development areas of Eagle Glen:

1. All public improvements and private streets shall be phased and constructed as per the phasing program in this Specific Plan, except that revisions may be approved by the Board of Zoning Adjustment.
2. Utility easements will be provided as required to facilitate an appropriate service network within the project area.
3. Except for high voltage transmission lines (34 KV and larger), all utility lines shall be underground. No pipe, conduit, cable, or line for water, gas, sewage, drainage, electricity or any other energy or service component, except as noted herein, shall be installed or maintained upon any lot (outside of any building) above the surface of the ground, except for transformers, and hoses, movable pipes used for irrigation or other purposes during construction.

SECTION 3: DEVELOPMENT PLAN

4. All flood control measures shall be provided in accordance with the requirements of the City Engineer and the Riverside County Flood Control and Water Conservation District.
5. All sewer facilities for the project shall be designed and constructed at the developers expense, or through satisfactory arrangements that are acceptable to the City of Corona. An applicable reimbursement and fee program shall be established to provide reimbursements to the developer for any expenses incurred beyond an agreed upon fair- share amount.

3.4.8 PUBLIC SAFETY REQUIREMENTS

The following public safety requirements shall apply to all development areas of Eagle Glen:

1. Adequate mitigation for potential surface rupture of the active faults identified on the property shall be accomplished through open space provisions and structural setbacks from active fault traces. Mitigation measures shall be integrated into Tentative Subdivision Map designs.
2. For those active faults in the southern portion of the site the minimum building setback shall comply with the project geologist's recommendations (see Exhibit 2-6), subject to review and approval of the Riverside County Geologist and the City of Corona.
3. Faults determined to be active in the Bedford Canyon fill deposits, shall have setbacks as recommended by the project geologist, subject to review and approval of the Riverside County Geologist and the City Engineer.

SECTION 3: DEVELOPMENT PLAN

3.5 GRADING CONCEPT

The grading concept for the Eagle Glen community is responsive to the physical character, location and type of land use, as well as the visual and environmental qualities of the site. All grading shall be in conformance with the City of Corona Grading Ordinance. The conceptual grading design for Eagle Glen is intended to achieve several project objectives including:

- Create a scenic living environment for residents.
- Be responsive to the natural land forms both on and off-site.
- Ease the visual impacts of grading.
- Stabilize manufactured slopes.

To achieve these objectives a number of techniques have been incorporated into the grading design of the project, including: contouring techniques which soften the visual appearance of manufactured slopes, rounding of tops and toes of slopes, horizontal undulation of slopes, and variation of slope gradient. Landscaping will also be used to provide visual softening of slope areas.

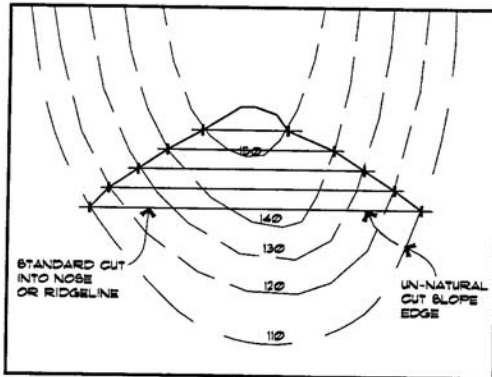
The following guidelines and standards provide general direction to grading design as related to drainage, landforms and contour grading. The primary focus of these guidelines and standards is to ease the visual impacts of grading through the preservation of natural landforms and foster approaches to landform alteration which are sensitive to the existing topographic features.

3.5.1 GRADING GUIDELINES

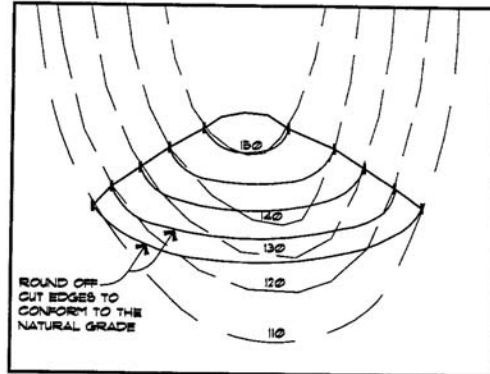
The following guidelines will govern all Eagle Glen grading operations:

1. Where cut and fill slopes are created in excess of four (4) feet in vertical height, detailed landscaping plans shall be submitted to the City of Corona per Corona Municipal Code Chapter 17.70. These plans shall be submitted as part of the landscape plans required for the subdivision, golf course, or commercial building permit process.
2. The applicant and/or developer shall be responsible for the maintenance and upkeep of all slope planting and irrigation systems until such time as those operations are the responsibility of other parties.

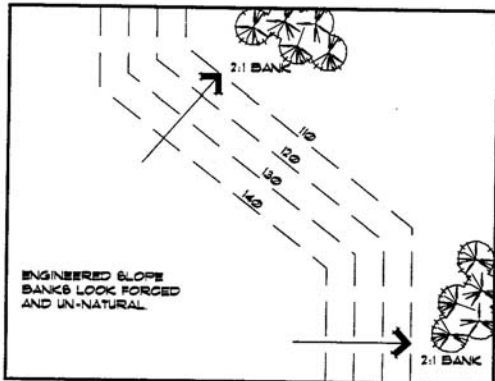
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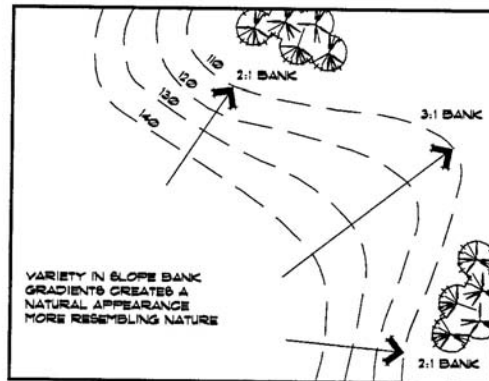
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ACCEPTABLE



SPECIFIC PLAN

Eagle Glen

City of Corona, California

CORONA COUNTRY CLUB ESTATES, L.L.C.

10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-14

GRADING CONCEPTS

N.T.S.

SECTION 3: DEVELOPMENT PLAN

3. Angular forms shall be discouraged. The graded form shall reflect the natural rounded terrain. Exhibit 3-14 illustrates grading techniques which should be incorporated into Eagle Glen final grading plans, where feasible.
4. The overall shape, height and grade of any cut or fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site. Setback standards are developed to achieve usable space that is visually attractive and prevent excessive loading or water saturation.
5. Prior to any tentative tract map submittal, an overall conceptual grading plan for the phase in question shall be submitted to the Planning Department and City Engineer for approval. The grading plan shall be used as a guideline for subsequent detailed grading plans for individual stages of development within the phase and shall include the following:
 - a. Techniques which will be utilized to prevent erosion and sedimentation during and after the grading process.
 - b. Approximate time frames for grading including identification of areas which may be graded during the higher probability rain months of November through March. (A separate erosion control plan must be submitted for grading during the rainy season.)
 - c. Preliminary pad and roadway elevations.
6. No grading shall extend outside of the Specific Plan boundary into the Cleveland National Forest. No off-site grading on private property shall occur without both the property owner's written consent and the establishment of a maintenance program for the subject area approved by the City. All biological resources mitigation shall be implemented prior to any grading and/or fuel modification activities.
7. The applicant shall obtain any required permits and/or agreements from the U.S. Fish and Wildlife Service and the California Department of Fish and Game prior to recordation of the Master Tentative Subdivision Map, or prior to the issuance of grading permits, whichever comes first.
8. Preliminary grading plans shall be submitted with the Development Plan Review package for all subsequent subdivisions and development.
9. Grading permits for other than CUP-97-01 cannot be issued until approvals have been obtained for the Master Tentative Tract Map, the individual Tentative Tract Map and the Tract Grading Plans, unless otherwise approved by the City Engineer.

SECTION 3: DEVELOPMENT PLAN

10. Grading plans shall comply with policies of the City of Corona Conservation Element, which requires that canyons be preserved from encroachment, that creeks and channels be retained in their natural states whenever feasible, and that landform alteration is minimal.
11. Over-excavation of compressible overburden materials may be needed during grading, prior to fill placement thereon.
12. A comprehensive geotechnical investigation shall be prepared for the Tentative Subdivision Map. This investigation shall include, but not be limited to, modifications to faults and setbacks, results of additional fault trenching, and engineering, geologic, and geotechnical considerations. This report shall be submitted to the City of Corona for review and approval prior to Tentative Subdivision Map approval.
13. A 40-scale grading plan review report shall be prepared for each tract and/or development proposal by the geotechnical and engineering geologic consultant for the project. These reports shall be submitted to the City of Corona for review and approval, prior to the issuance of any grading permits for this project.
14. Retaining and/or crib walls may be permitted when they result in either a significant reduction in manufactured slope area and/or increase in the usable site area and are determined to be practical, (i.e., areas of rock outcroppings and steep slopes). However, retaining walls shall not exceed 4 feet in height and be of decorative block within view from any street, unless otherwise approved by the Planning Director.
15. Significant ridges, knolls and other noteworthy characteristics, as identified on Exhibit 2-8 shall be considered, to the extent possible, in the grading design.
16. Grading for pads should be limited primarily to the building and active use areas. Daylight cuts should be used where possible.
17. Manufactured slopes over 30 feet in vertical height should be treated with special aesthetic techniques to reduce visual impacts, such as:
 - Contouring with variable pitches both horizontally and vertically;
 - Use of natural colors and materials on all or portions of the slope;
 - Allow exaggerated bench drains to split the continuous plane; and other methods that are appropriate for specific site conditions.
18. The toe and crest of any manufactured slope in excess of 10 vertical feet in height shall be rounded in proportion to the total height of the slope. When slopes cannot be rounded, vegetation shall be used to alleviate a sharp angular appearance.

SECTION 3: DEVELOPMENT PLAN

19. Slopes requiring special erosion control or fire prevention shall be designed for ease of maintenance.
20. Grading shall be minimized and roadways should follow the existing landforms to the extent possible.
21. Maximum steepness of exposed cuts and fills shall not exceed 2:1 unless otherwise recommended by a soils engineer and approved by the City Engineer.
22. Existing disturbed areas not proposed for development shall be revegetated with indigenous plant material.
23. All common maintenance slopes shall be provided adequate maintenance access and paths to the approval of the Public Works and Planning Department.

3.5.2 ROUGH GRADING GUIDELINES

The following guidelines will govern rough grading on the project site:

1. The type of erosion control protection will depend on the materials exposed at the slope surface and shall be addressed when that can be determined.
2. Geotechnically acceptable methods of slope erosion control shall be used to protect the slopes from erosion until a healthy plant growth can be established.
3. Daylight cuts should be used where possible.
4. Grading for pads should be limited primarily to the building and active use areas.

3.5.3 GRADING IN DRAINAGE AREAS

The following guidelines shall govern grading in drainage areas:

1. Drainage courses shall be maintained in their natural state wherever possible.
2. Down drains shall flatten out at the bottom of the slope where indigenous rock or other natural material will be used to minimize visual impact.
3. Drainage protection devices shall incorporate rock and riprap of indigenous material wherever possible.
4. Natural drainage areas shall be designed for ease of maintenance wherever possible.

SECTION 3: DEVELOPMENT PLAN

5. To provide for erosion control, all manufactured slopes shall be landscaped or otherwise protected from the effects of storm runoff erosion and shall be benched or terraced if greater than 30 feet in vertical height. Irrigation facilities shall be installed to provide for proper maintenance of the landscaped areas.
6. Landscaping shall be used to screen views of terrace and down drains wherever possible.
7. Interim erosion control techniques during the construction/development period will include the provision of temporary siltation basins, sand-bagging the perimeter of exposed earth areas and scheduling grading activities during periods of little to no precipitation.

3.5.4 REMEDIAL GRADING

Earthquake Fault Zones - The Eagle Glen Land Use Plan responds to these areas by locating only Open Space, the Golf Course and manufactured slope banks where fault lines have been mapped by the geologist. The minimum building setback along earthquake fault lines will be determined by the project geologist. Engineering plans and an accompanying report addressing development in these areas shall be submitted for review and approval to the City's Engineering Department prior to approval of the Tentative Subdivision Maps, as well as the Riverside County Geologist (see Exhibit 2-6). All proposed infrastructure adjacent to or crossing earthquake fault zones shall be designed to withstand seismic forces. Such design shall be subject to review and approval by the Director of Public Works.

Potential Landslide Areas - As noted in Section 2.8, Seismicity, there may be potential seismic triggered landslides. The grading design's primary objective is to avoid these areas completely, although there are some areas which may intersect development. The engineering plans and reports shall address the protection of developed areas from this possibility. If a landslide is encountered during grading, work shall stop until the geologist and soils engineer can prescribe and monitor the stabilization techniques. Where this situation occurs, the weakened areas may be stabilized as necessary, to eliminate any hazard. Any stabilization of landslide areas through the use of buttress fills and other techniques will require modification procedures to be designed and monitored by a geologist and soils engineer. Landslide areas may also impact proposed drainage improvements by increasing the likelihood debris flow. Engineering plans and reports relating to the stabilization of landslides shall be submitted to the City's Engineering Department and Planning Department prior to approval of the Tentative Subdivision Map.

Scale Broom Weed - Special remedial practices should occur in the washes and any arroyos to prevent the establishment of the Scale Broom Weed (*Lepidospartum aquamatum*) within the community. Prior to any grading or construction of public improvements, a letter will be required from a qualified botanist, plant taxonomist, or field biologist stating that the investigation and eradication of Scale Broom Weed has been completed.

SECTION 3: DEVELOPMENT PLAN

3.5.5 GRADING IN THE HILLSIDE OVERLAY DISTRICT

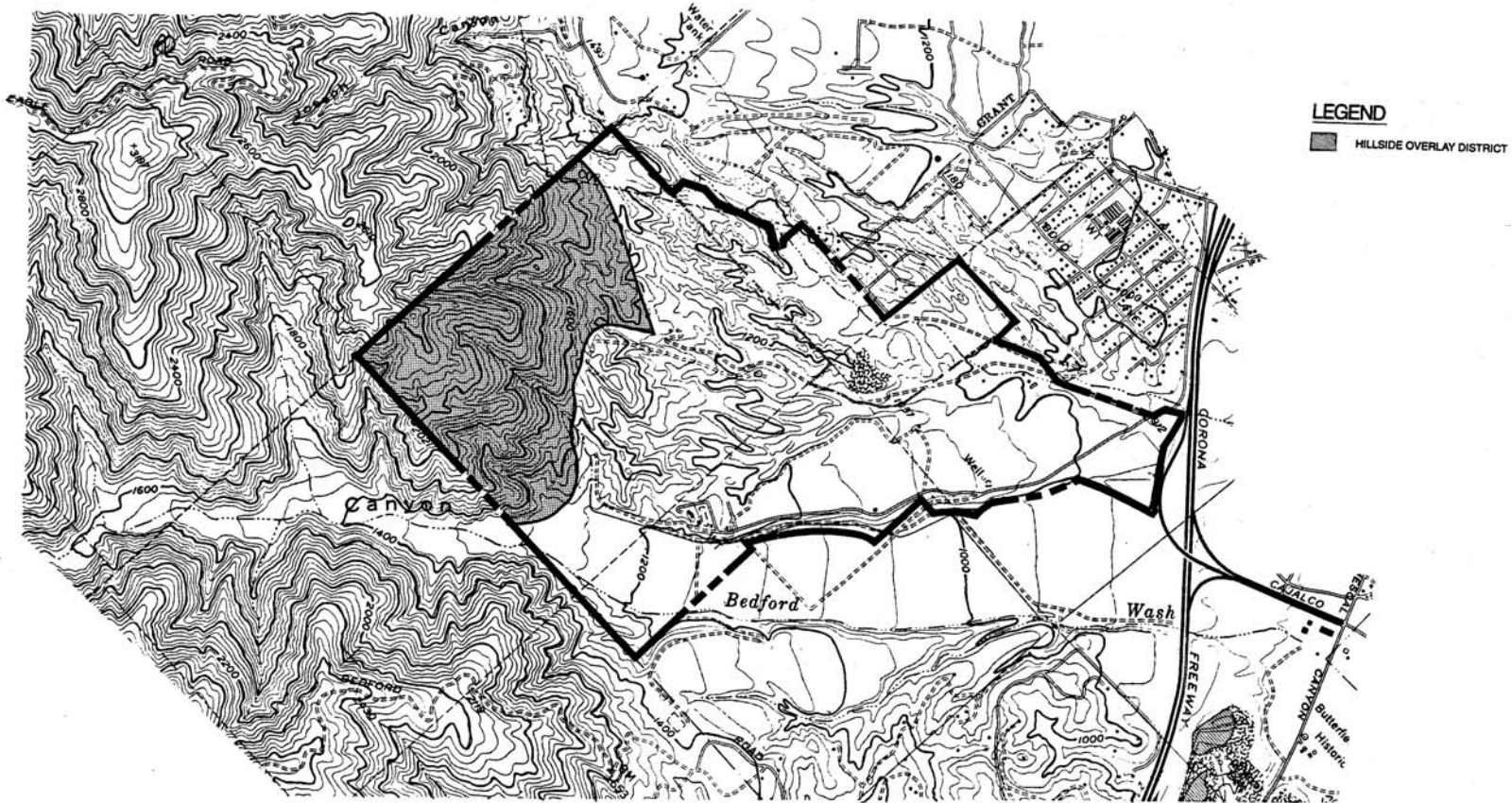
The purpose of this section is to provide regulations for the development of those areas on the site which fall within the Hillside Overlay District. The Hillside Overlay District for Eagle Glen has been applied to the Hillside Reserve Area (HR) land use category and the portion of the Open Space (OS) land use category located to the west of the golf course on the Eagle Glen Land Use Plan. The area of the Eagle Glen Hillside Overlay District is shown on Exhibit 3-15 and the Land Use Plan, Exhibit 3-1. A Specific Plan Amendment is required prior to grading within the Hillside Reserve Area.

The Eagle Glen Hillside Overlay District consists of approximately 300 acres and includes much of the designated Open Space for the Specific Plan. All areas within this district fall under the Hillside Management Policy of the City of Corona General Plan which allows one dwelling unit per acre. The Eagle Glen Hillside Overlay District is consistent with the City's General Plan policies relating to hillside development since the Specific Plan could potentially allow a maximum of 118 estate homes within the 300-acre area.

Within the Eagle Glen Hillside Overlay District, home sites and building pads will be designed to maintain as much natural open space as possible.

The following considerations should be taken into account when designing homes in the Hillside Overlay District:

1. Setbacks shall vary, where possible, in large lot estate areas.
2. Home sites should either avoid, enhance, or visibly incorporate rock outcroppings.
3. Design and placement of structures shall respond to both cross sectional slope and the silhouette contour of the hillside.
4. Rooflines shall be sensitive to the slope and shall be varied to avoid a monotonous application.
5. On downhill slopes, buildings shall be located to minimize front yard setbacks in order to reduce building mass hanging over the slope.
6. Flag lots shall be permitted, sub to the review and approval of the Chief of Police, Fire Chief, and Planning Director prior to approval of any map containing flag lots. The flag lots shall have a minimum 20-foot width at curb line and minimum 20-foot stem width from the curb line to the structures. A maximum of two flag lots per cul-de-sac shall be permitted. Security and fire protection mitigation for these lots may be conditioned upon review by the Chiefs of Police and Fire. A typical flag lot is shown on Exhibit 3-16.





SPECIFIC PLAN AMENDMENT

Eagle Glen

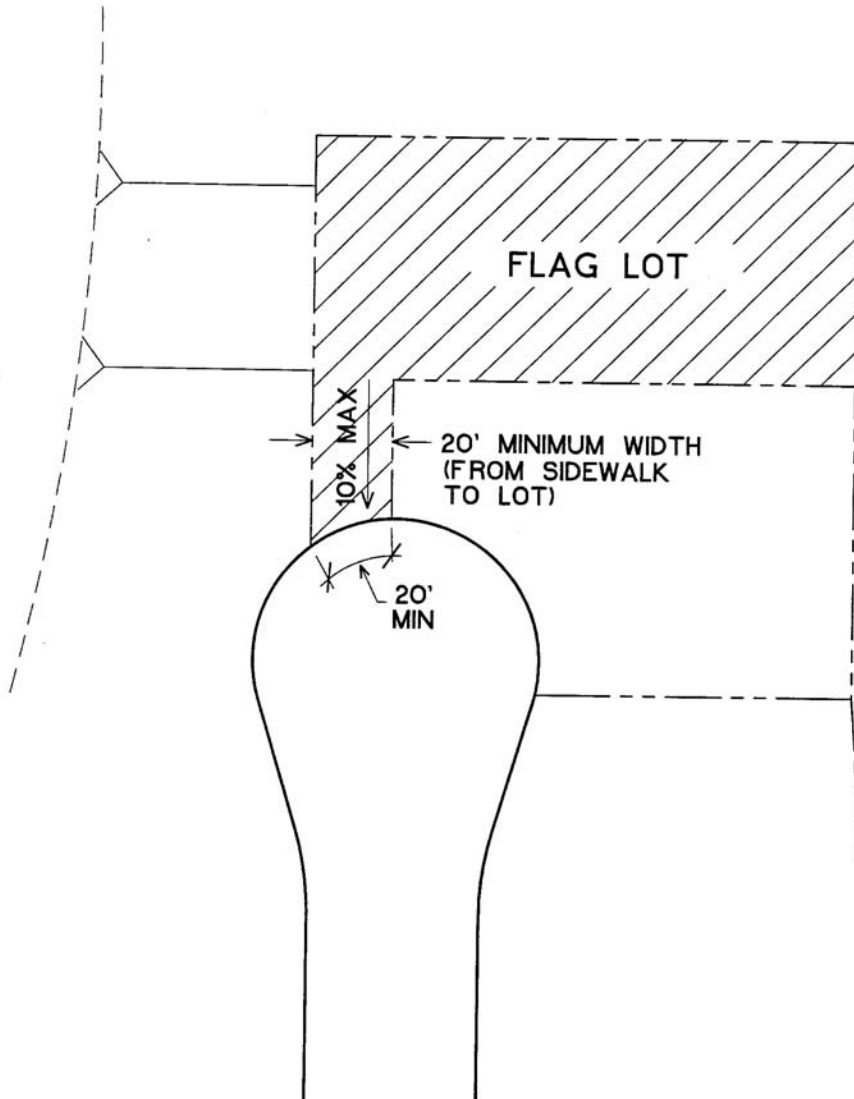
City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.
 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-15
HILLSIDE OVERLAY DISTRICT



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JUNE 2001
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SECTION 3: DEVELOPMENT PLAN

7. Flag lots that provide for portions of buildings to be in excess of 150 feet from public streets shall have minimum 20-foot drives not exceeding 10% grade and be provided with approved Fire Department turnarounds. These lots shall also provide on-site fire flow requirements and fire hydrants.
8. Design shall consider views and vistas as identified in Exhibit 2-8.
9. All manufactured slopes over 4 feet in height shall be planted per Corona Municipal Code Chapter 17.70. All manufactured slopes under 4 feet in height shall be planted or otherwise protected from the effects of water run-off and erosion as approved by the city engineer within two weeks after completion of grading and installation of a permanent water system. Extensions for reasonable cause may be granted by the Public Works Director. Planting shall be designed to blend with the surrounding terrain and character of development, and shall consist of varieties deemed fire resistant by the Fire Chief. Where feasible, existing natural vegetation shall be preserved and enhanced. Remaining plants will be healthy and mature. New plants shall be of a native or drought tolerant, fire retardant species.
10. Estate sites shall be designed to preserve natural Landforms, wherever possible, through custom grading/foundation design. Examples of special foundation designs are shown on Exhibit 3-17.
11. Retaining and/or crib walls may be permitted when they result in either a significant reduction in manufactured slope area and/or increase in the usable site area and are determined to be practical (i.e., areas of rock outcroppings and steep slopes). However, retaining walls shall not exceed 4 feet in height and be of decorative block within view from any street, unless otherwise approved by the Planning Director. Any retaining wall over 5 feet in height within the Hillside Overlay District shall be approved by the Planning Director prior to Tentative Subdivision Map approval.
12. High elevation estate areas bordering natural open space shall have varied visible elevations and setbacks.
13. Siting of ancillary uses shall preserve natural view corridors, whenever possible.
14. All home site locations shall satisfy fuel modification requirements per the Fuel Modification Plan to the approval of the Fire Department.
15. Screening shall be required on the exposed understory of any structures. Screening devices and architectural techniques shall blend with the building character.



SPECIFIC PLAN

Eagle Glen

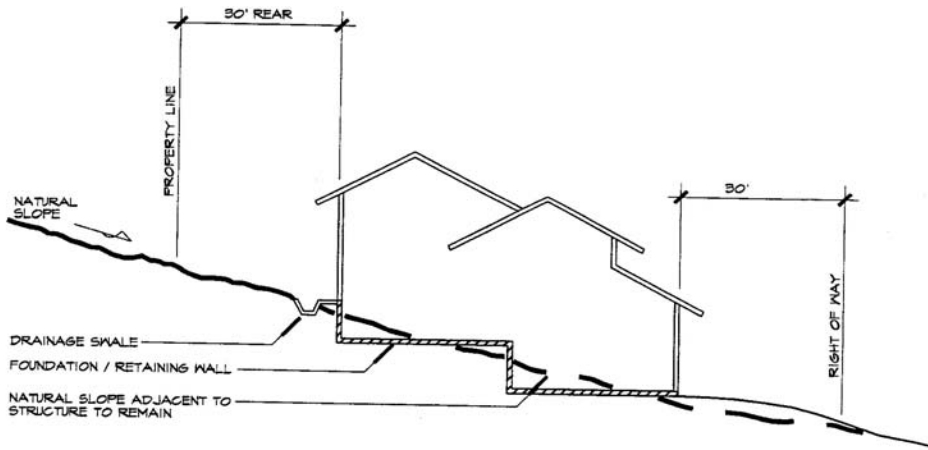
EXHIBIT 3-16
HILLSIDE FLAG LOTS

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.
10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

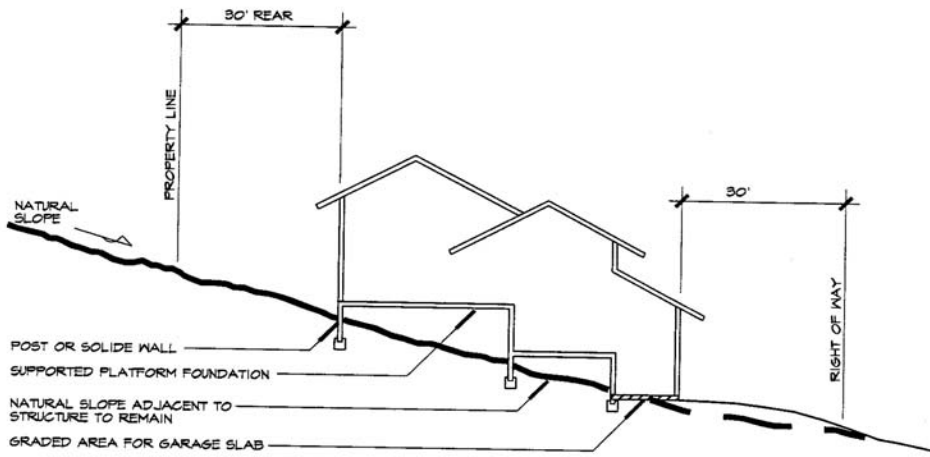
N.T.S.

SECTION 3: DEVELOPMENT PLAN

16. A grading plan shall be submitted as part of the application for Development Plan Review approval for any Hillside Overlay District development. Such a submittal shall include: topographic map of project site and that area within 150 feet of the project area boundaries; grading plan which shows the location of potential landslide areas and faulting zones as they relate to access and grading for pads; and any additional information deemed necessary by the City Engineer or Planning Director (soils or geology report, hydrology report, cross sections, etc.)
17. In the Hillside Overlay District, architectural solutions such as split pads are encouraged to mitigate landform alterations (see Exhibit 3-17).
18. The private street criteria outlined in sections 3.3.1 and Exhibit 3-7 shall apply.



SPLIT LEVEL PAD



ELEVATED FOUNDATION

SPECIFIC PLAN

Eagle Glen

EXHIBIT 3-17
HILLSIDE ARCHITECTURE

City of Corona, California

N.T.S.

CORONA COUNTRY CLUB ESTATES, L.L.C.

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SECTION 3: DEVELOPMENT PLAN

3.6 PHASING PLAN

Project phasing, as a master plan, will generally include development occurring within two or more neighborhoods simultaneously. The goal is to provide a broad array of housing opportunities throughout the initial home sales program.

Development is expected to commence at several places near Eagle Glen Parkway and expand like branches from this main trunk facility. Off-site improvements, to be completed early in the development program, are only required for the freeway ramp modifications, the wastewater treatment facility and the major domestic water supply from the Mills line.

Eagle Glen will be developed in thirteen (13) implementation areas as depicted on Exhibit 3-18. Infrastructure phasing for the project will allow an adequate level of infrastructure to be built to accommodate the development in each implementation area. Phasing of the project has taken into account market considerations to stagger the introduction of a variety of housing types.

It is the primary intention of the phasing plan to relate infrastructure requirements to proposed development. While a sequence is implied, there is no requirement to preclude a different order of development, so long as the related infrastructure is adequately in place. The Specific Plan allows this flexibility because the actual sequence of development may be affected by numerous factors not now predictable. Each phase of construction shall have at least two points of all- weather vehicular and pedestrian access and two sources of water, and shall not be dependent on any other phase.

All fire department approved access roads will be provided prior to any combustible materials being brought on-site.

It is important to note that prior to occupancy of the first dwelling unit of any phase, the necessary infrastructure for the phase shall be in place.

3.6.1 CONSTRUCTION PHASING

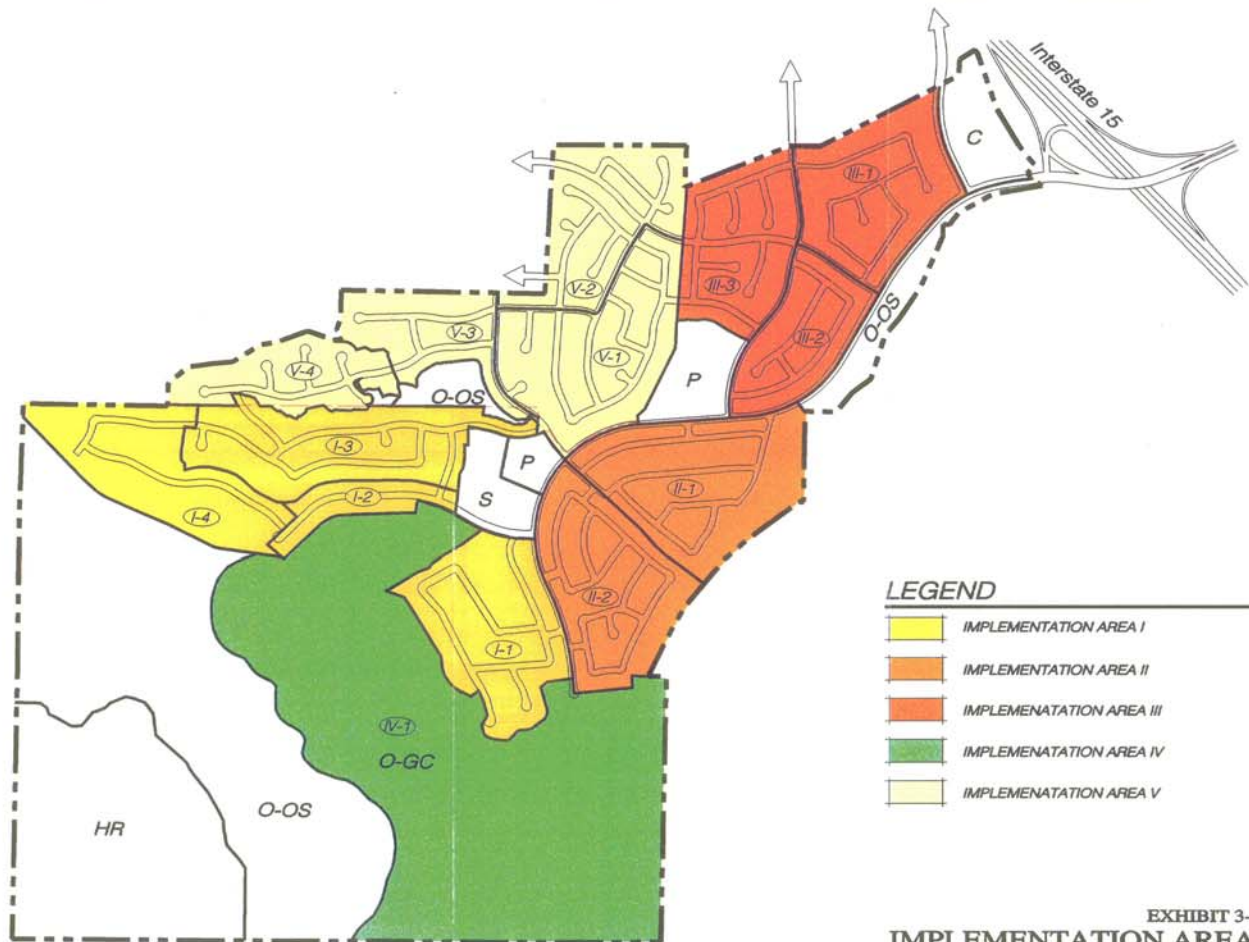
Construction phasing requirements are summarized for each of the thirteen (13) development areas in Table 6.

SECTION 3: DEVELOPMENT PLAN

Table 6

EAGLE GLEN ANTICIPATED CONSTRUCTION PHASING REQUIREMENTS

IMPLEMENTATION AREA	ESTIMATED UNITS	INFRASTRUCTURE UNITS	INFRASTRUCTURE STREETS
C		A	-
O-GC	IV	0	N/A
			Eagle Glen Parkway
SF-1 & SF-2			
	I 1	107	A-D
	I 2	31	A-D
	I 3	128	A-D
	I 4	68	A-D
			e
			d & e
			d & e
			d & e
SF-2 & SF-3			
	II 1	160	A & B
	II 2	205	A & B
			c
			c
SF-2			
	III 1	144	A
	III 2	113	A
	III 3	130	A
			a & b
			a & b
			a & b
SF-1			
	V1	148	E
	V2	80	E
	V3	71	E
	V4	60	E
			d, f, g
			d, f, g
			d, f, g
			d, f, g



LEGEND

- IMPLEMENTATION AREA I
- IMPLEMENTATION AREA II
- IMPLEMENTATION AREA III
- IMPLEMENTATION AREA IV
- IMPLEMENTATION AREA V

SPECIFIC PLAN AMENDMENT

Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.

10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 3-18
IMPLEMENTATION AREAS



SECTION 3: DEVELOPMENT PLAN

3.6.2 INFRASTRUCTURE IMPLEMENTATION

The infrastructure implementation related to on-site improvements will be approached in four units generally corresponding with the phasing shown on Exhibit 3-19. Infrastructure related to the required off-site improvements is included within the four units.

It is recognized that the master developer will construct certain facilities such as the emergency communications facility, the sports and neighborhood parks and the I-15/Cajalco road interchange.

The infrastructure units are described as follows:

1. Infrastructure Unit “A”

This infrastructure unit includes required infrastructure necessary prior to any residential Certificate of Occupancy, or as noted below:

- Bedford Canyon Road from the North project boundary to Cajalco / Eagle Glen Parkway;
- Cajalco / I-15 Ramp Modifications erected and completed;
- Eagle Glen Parkway westerly to first collector Street;
- Water connections to Newton and Bedford Canyon Road;
- Sewer connection to Bedford Canyon Road;
- Drainage Improvements for Bedford Canyon Road and Newton;
- Connection to Newton;
- Permanent Emergency Communications Facility;
- 13-acre Sports Park at 101st Certificate of Occupancy;
- Water Reservoir, Mills water System connection, emergency booster pump station at the 201st building permit; or as permitted in the approved Water Master Plan and approval of the Public Works Department; and
- Waste Water Treatment Facility at 201st building permit, as described in Section 3.4.2.

2. Infrastructure Unit “B”

- Eagle Glen Parkway from first collector street to the Golf Course;
- Master-Planned Drainage improvements and Debris & Detention Basin (if required);
- Irrevocable Offer of Dedication for 8-acre school site at 501st building permit;
- Completion and dedication of 5-acre neighborhood park at 501st building permit;
- Completion of Golf Course Clubhouse/Banquet Facility at 501st building permit;
- Signal at Bedford / Cajalco / Eagle Glen Parkway at 501st building permit; and
- Signal at I-15 / Cajalco interchange at 601st building permit.

NOTE:

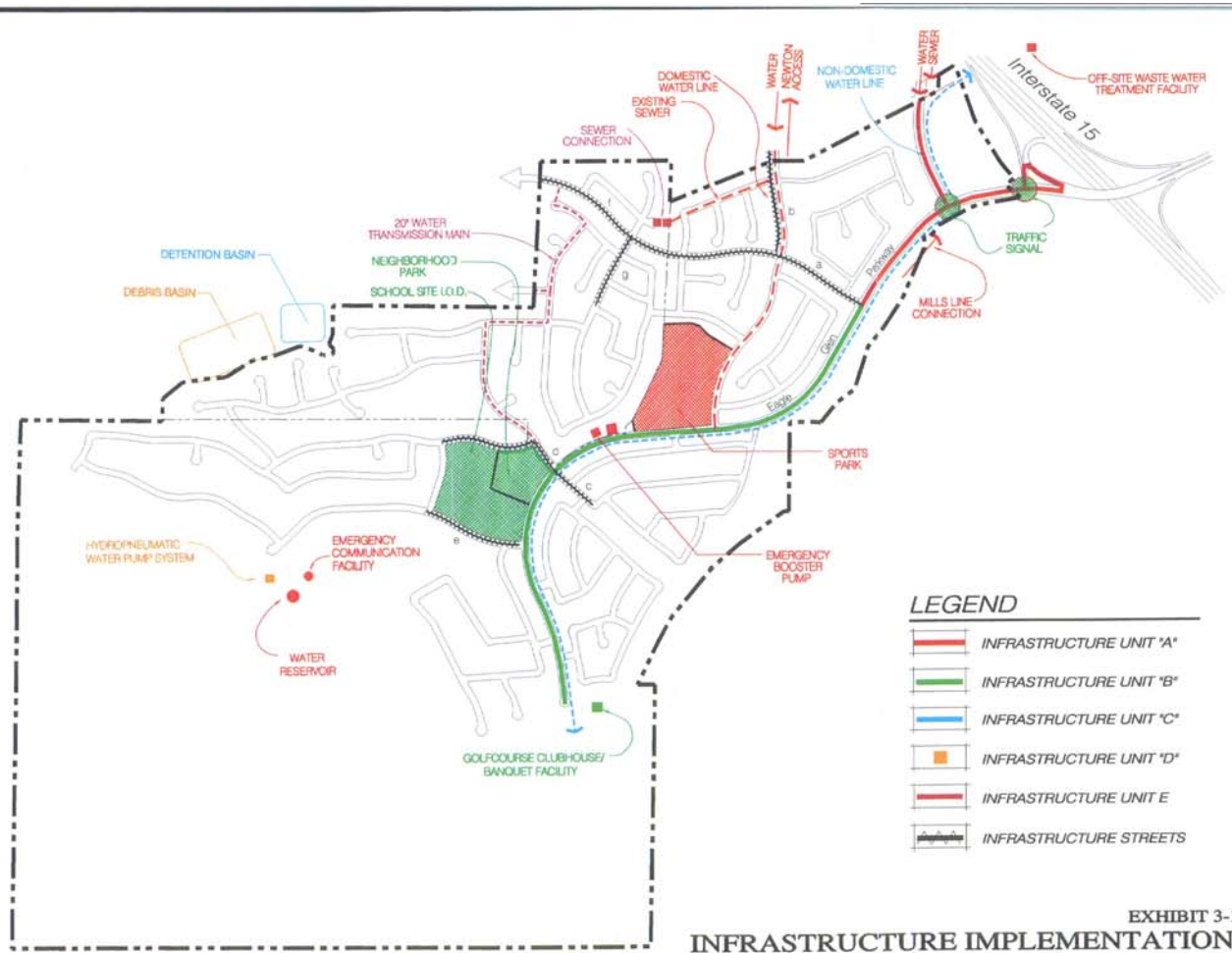
THE CONFIGURATION OF THE LOCAL AND PRIVATE STREETS ARE ILLUSTRATIVE ONLY. THESE STREETS AREA SUBJECT TO SUBDIVISION MAP APPROVAL.

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LEGEND







-  INFRASTRUCTURE UNIT "A"
-  INFRASTRUCTURE UNIT "B"
-  INFRASTRUCTURE UNIT "C"
-  INFRASTRUCTURE UNIT "D"
-  INFRASTRUCTURE UNIT E
-  INFRASTRUCTURE STREETS

EXHIBIT 3-19
INFRASTRUCTURE IMPLEMENTATIONS



SECTION 3: DEVELOPMENT PLAN

3. Infrastructure Unit “C”

- Non-Domestic Water System; and
- Signal at Bedford Canyon Road I El Cerrito Road.

4. Infrastructure Unit “D”

- Hydropneumatic Water Pump System; and
- Drainage improvements including Debris Basins (if required);

5. Infrastructure Unit “E”

- Detention Basin in Joseph Canyon Wash;
- Debris Basin in Joseph Canyon Wash;
- Masters Drive (f);
- Riviera Drive (d);
- “A” Street (g);
- 20-inch transmission main;
- Upgrade to pump station; and
- Sewer connection to Tract 28575.

3.6.3 PHASING CRITERIA

The Eagle Glen Phasing Plan shall be based on the following criteria:

1. No grading permits will be issued prior to the (temporary or permanent) Emergency Communications facility becoming operational.
2. No Building Permits for primary residential structures will be issued prior to the construction and completion of adequate drainage and storm / flood protection improvements for the project phase with particular emphasis on the Joseph Canyon drainage area.
3. Not more than 500 Certificates of Occupancy for primary residential structures will be issued prior to the construction and completion of the 13-acre sports park.
4. Not more than 200 Building Permits for primary residential structures will be issued prior to the construction and completion of the waste water reclamation facility. Any units built and/or occupied prior to completion of the waste water reclamation facility and Waste Water Treatment Plant #3 will use the existing facilities on a temporary basis and will be required to use the waste water reclamation facilities for permanent utility service. Upgrades to the existing pump station to accommodate more than 200 dwelling units may be approved administratively by the Utilities Director.

SECTION 3: DEVELOPMENT PLAN

5. Not more than 200 Building Permits for primary residential structures will be issued prior to the construction and completion of the off-site connection to the Mills water supply source and the on-site water transmission and storage facilities. Any units built and/or occupied prior to completion of the water facilities may use the existing facilities on a temporary basis and will be required to use the on-site facilities for permanent utility service. Use of existing water capacity in the 1220 Zone for more than 200 dwelling units may be permitted in accordance with the approved Water Master Plan and the approval of the Public Works Department. No development increment of more than 15 units will be allowed without “looping” the water system.
6. No Building Permits for habitable structures above elevation 1120 feet will be allowed prior to connection to the Mills supply system, an emergency pumping connection to the 1220-foot zone and sufficient on-site water storage facilities have been construction and completed.
7. No Building Permits for habitable structures above elevation 1250 feet will be allowed prior to connection to the Mills supply system, connection to the 1380-foot zone, and the Hydropneumatic pumping station and sufficient on-site water storage facilities have been construction and completed.
8. Not more than 500 Building Permits for primary residential structures will be issued prior to an Irrevocable Offer of Dedication has been made for the Elementary School Site to the Corona Norco Unified School District.
9. Not more than 600 Building Permits for primary residential structures will be issued prior to start of construction of the 5-acre neighborhood park, and no more than 800 building permits for primary residential structures will be issued prior to completion of the 5-acre neighborhood park.
10. Not more than 600 Building Permits for primary residential structures will be issued prior to commencement of construction of a permanent Golf Clubhouse which includes banquet facilities sufficient to accommodate 400 guests.
11. Not more than 500 Building Permits for primary residential structures will be issued prior to the construction and completion of the signal at the corner of Bedford Canyon Road and Cajalco Eagle/Glen Parkway.
12. The golf course must be completed, operational, and open to the public before developer completes development within Implementation Areas I-1 and I-2 as shown on Exhibit 3-18.

SECTION 4: DEVELOPMENT REGULATIONS

4.1 INTRODUCTION

The purpose of this section is to specify regulations governing the use of land within the Specific Plan area. Development projects within the Specific Plan area shall comply with these regulations. Where no regulations are specified, provisions of the City Zoning Ordinance will govern.

The following standards apply to development of residential, commercial, open space/recreation and community facilities areas. All such development within Eagle Glen shall conform to the development standards as set forth in the Specific Plan for the permitted uses. Locations of all proposed uses permitted within Eagle Glen shall be as designated on the Land Use Plan, Exhibit 3-1.

These regulations and general site planning provisions are further augmented by the Community Design Guidelines described in Section 5. The Community Design Guidelines are aimed at enabling users of the Specific Plan to understand its intent and apply provisions for flexibility in the plan in accordance with the City's desires.

4.2 GENERAL PROVISIONS

The following site planning standards apply to the entire Specific Plan area as noted.

1. Except as provided in this Specific Plan, the Corona Municipal Code, including the Zoning Ordinances and other applicable city regulations shall govern site design, development and construction within the Eagle Glen Specific Plan.
2. A copy of the adopted Eagle Glen Land Use Plan shall be displayed in all residential sales offices for new homes and will be provided to prospective home buyers upon request, to be enforced by the builders constructing homes within the Eagle Glen project.
3. All development projects shall be reviewed for consistency with the Eagle Glen Specific Plan Community Design Guidelines described in Section 5 of this Specific Plan and City of Corona Residential Design Guidelines.
4. Whenever the regulations contained in this text conflict with the Regulations of the Corona Municipal Code, the regulations of the Eagle Glen Specific Plan shall take precedence.
5. Within the Specific Plan area, any model complex and/or sales office designed for temporary use shall be permitted subject to review and approval by the Board of Zoning Adjustment according to the procedures described in Chapters 16.30 and 17.98 of the City of Corona Municipal Code.

SECTION 4: DEVELOPMENT REGULATIONS

6. Processing of Precise Plans in accordance with Section 6.5 of this Specific Plan shall be required for all residential developments, commercial uses, private recreational facilities, including the golf course and any development within the Hillside Reserve Area (HR).
7. Setbacks from street rights-of-way shall be as noted herein, unless additional separation is necessary to mitigate traffic noise per noise studies conducted for any subdivision map adjacent to a Secondary Arterial or Collector Street.

SECTION 4: DEVELOPMENT REGULATIONS

4.3 RESIDENTIAL DEVELOPMENT REGULATIONS

4.3.1 GENERAL PROVISIONS FOR RESIDENTIAL DEVELOPMENT

The following standards apply to all residential development areas for Eagle Glen.

1. All pedestrian circulation shall be separated, by a landscaped parkway, from vehicular travel as shown on Exhibits 5-8 through 5-16 to facilitate pedestrian travel.
2. Residential subdivisions shall be designed to orient residences with rear or side yards facing arterial and collector streets, except homes may front the sections of Collector Streets adjacent to the east side of the sports park and the north side of the school site. Rear or side elevations of such residential units should be fully developed where visible.
3. Dwelling units shall be arranged, whenever possible, in a staggered and variable setback fashion, to provide visual interest and avoid repetitive appearance of facades and yards.
4. Blank facades shall not be permitted.
5. Prior to final map, the developer shall record a disclosing statement, to be incorporated into the title reports for all lots created, that the property is adjacent to a sand mine operation and that the mining activity is permitted to continue for a 10-year period.
6. The applicant shall prepare a home buyer notification package which contains a description and accompanying maps showing the adopted land use plans for the Eagle Glen Specific Plan and surrounding areas, including the existence of mining operations. Each homeowner will be required to affirm, by signature, that he is aware of the existing surrounding land uses and future development plans within the specific plan area, and that he acknowledges the right of mine operators to continue mining activities to the extent allowed under applicable permits. The contents of the notification package shall be reviewed and approved by the Community Development Director prior to recordation of the first builder tract map.
7. Any residence adjacent to natural areas shall comply with the Fuel Modification Plan in Section 5.5, to the satisfaction of the Fire Department.
8. Each residential development project located in a SF-1 or SF-2 neighborhood shall have a minimum 15% single story units.
9. Each residential development project shall have a different mix of product type to ensure diversity and create distinctive neighborhoods of varying housing values.
10. Residential developments adjacent to Collector, Secondary of Major roads shall perform a noise analysis to determine measures to mitigate roadway noise levels to below 65 CNEL exterior and 45 CNEL interior.

SECTION 4: DEVELOPMENT REGULATIONS

Table 7

**SITE DEVELOPMENT STANDARDS SUMMARY
SINGLE-FAMILY DETACHED RESIDENTIAL**

	HR	SF-1 (Pas 1-4)	SF-1 (PA5)	SF-2	SF-3 ⁽¹⁾
Minimum Lot Area	1/2ac.	9,600 sq. ft.	8,400 sq. ft.	7,200 sq. ft.	N/A
Maximum Lots	118 ⁽²⁾	292	274	675	202
Minimum Lot Width	100 feet	80 feet ⁽³⁾	70 feet	60 feet	50 feet
Minimum Lot Depth	100 feet	110 feet	100 feet	100 feet	90 feet
Maximum Height	30 feet	30 feet	30 feet	30 feet	30 feet
Minimum Front Setback ⁽⁴⁾	25 feet	18 feet min.	15/18 feet min. ⁽⁵⁾	18 feet min.	15 feet for side on garage and structure
		20 feet avg. ⁽⁶⁾	20 feet avg. ⁽⁶⁾	20 feet avg. ⁽⁶⁾	20 feet for front on garage
Minimum Level Interior Side Setback	10/15 feet	5/10 feet	5/10 feet ⁽⁷⁾	5 feet	5 feet ⁽⁸⁾
Minimum Street Side Setback	15 feet	10 feet	10 feet	10 feet	10 feet
Minimum Level Rear Setback	15 feet	15 feet	20 feet	15 feet	15 feet
Collector or Arterial Street Rear Setback	20 feet	20 feet	20 feet	20 feet	20 feet for front on garage
Minimum Unit Area	2,000sq. ft.	1,700sq.ft.	1,600sq.ft.	1,400sq.ft.	1,400sq.ft.
Maximum Lot Coverage	25%	35% ⁽⁹⁾	35% ⁽⁹⁾	35% ⁽⁹⁾	45%
Average Min Pad Size (per Residential Subdivision)	N/A	8,600sq.ft.	7,600sq.ft.	N/A	N/A
Average Min Lot Size (per Residential Subdivision)	N/A	10,000sq.ft.	9,000sq.ft.	N/A	N/A

- (1) Minimum dimensions for the SF-3 category apply to the exclusive use area associated with an individual dwelling unit.
- (2) Prior to development of up to 118 estate lots in the Hillside Reserve Area (HR), approval of a Specific Plan Amendment and environmental documentation will be required.
- (3) 9,600 square foot lots developed prior to the adoption of SPA-00-003 shall have a minimum lot width of 75-feet.
- (4) Front yard setbacks shall be staggered to provide a more aesthetically pleasing street side appearance. No more than 2 adjacent units shall have the same setback. The setbacks noted above are minimums. The intent of the Specific Plan is that the setbacks and individual unit elevations shall vary to provide an aesthetically pleasing, unique and comfortable environment.
- (5) The minimum front setback for development in Planning Area 5 shall be 15 feet for side on garages or optional habitable rooms. The minimum setback for front on garages and the main structure shall be 18 feet.
- (6) The front yard average setback shall be calculated per street frontage of each block.
- (7) Of the 10-feet, 5-feet shall be level between the dwelling unit and property line.
- (8) Minimum separation of 10 feet between units, with the exception of fireplaces and architectural projections, which may extend up to 2 feet into the separation area on one side of the unit only.
- (9) Maximum lot coverage 40% for single story units.

SECTION 4: DEVELOPMENT REGULATIONS

4.4 HILLSIDE RESERVE AREA DISTRICT (HR)

Prior to any development of lands designated Hillside Reserve Area (HR) by the Eagle Glen Land Use Plan, a Specific Plan Amendment and environmental documentation are required. If approved, estate residential development that ranges from 0 to 2 dwelling units per acre will be allowed. The minimum lot area would be ½ acre. Housing types include Single-Family detached homes, with customary accessory buildings upon one lot.

4.4.1 PERMITTED USES (HR)

The following uses would be permitted:

1. Single-Family detached dwellings.
2. Garages, carports, accessory buildings, structures and uses where related and ancillary to the primary residence, subject to the provisions of Chapter 17.66 of the Corona Municipal Code.
3. Fences, walls and trellises, subject to the provisions of Chapter 17.70 of the Corona Municipal Code.
4. Swimming pools and other recreational amenities, subject to the provisions of Section 17.64.040B (2) of the Corona Municipal Code.
5. Small and large family day-care homes.
6. Open Space (O) uses as specified in the Specific Plan.

4.4.2 TEMPORARY USES PERMITTED (HR)

1. Agricultural uses.
2. Model homes and sales offices serving this site only during sales period, subject to the procedures prescribed in Section 17.98 of the Corona Municipal Code.

4.4.3 ACCESSORY USES PERMITTED (HR)

1. Home occupations, as specified in the Corona Municipal Code, Section 17.80.
2. Non-commercial keeping of pets in accordance with Section 17.10.020 of the Corona Municipal Code.
3. Secondary residential units subject to approval per Corona Municipal Code Section 17.85.

4.4.4 PROHIBITED USES (HR)

Uses prohibited in this District are as follows:

1. Commercial uses.
2. Manufacturing uses.

SECTION 4: DEVELOPMENT REGULATIONS

4.4.5 SITE DEVELOPMENT STANDARDS (HR)

Site development standards for the HR District are described in Table 7.

4.4.6 SIGNS (HR)

The provisions of Corona Municipal Code Chapter 17.74 shall apply, except as specified under Section 5.2 herein.

4.4.7 WALLS, FENCES AND LANDSCAPING (HR)

1. Front yard landscaping shall include a minimum of two trees and ten percent shrub coverage per Corona Municipal Code Section 17.70.070.C.3.
2. Fences and walls shall be designed according to the standards and guidelines set forth in Corona Municipal Code Chapter 17.70 and the Specific Plan Design Guidelines, Section 5.4.5.
3. All natural slopes abutting residential development with a slope gradient of 3:1 or greater shall be planted with native erosion control type material and irrigated as necessary to establish coverage in conformance with the fuel modification guidelines described in Section 5.5.

SECTION 4: DEVELOPMENT REGULATIONS

4.5 SINGLE FAMILY RESIDENTIAL DISTRICT (SF)

Land designated as Single Family Residential (SF) is intended for residential development that ranges from 0 to 5 dwelling units per acre. Housing types include single family detached homes with customary accessory buildings upon one lot (SF-1 and SF-2), and single-family detached condominium homes (SF-3) located within exclusive use areas.

4.5.1 LAND USE AREA SPECIFICATIONS (SF)

Land Use Areas SF-1, SF-2 and SF-3 are designated Single Family Residential (SF).

4.5.2 PERMITTED USES (SF)

The following uses are permitted in the SF district:

1. Single family detached dwellings.
2. Garages, carports, accessory buildings, structures and uses where related and ancillary to the primary residence subject to the provisions of Chapter 17.66 of the Corona Municipal Code.
3. Fences, walls and trellises, subject to the provisions of Chapter 17.70 of the Corona Municipal Code.
4. Swimming pools and other recreational amenities, subject to the provisions of Section 17.64.040B (2) of the Corona Municipal Code.
5. Public parks, playgrounds, athletic fields and public schools.
6. Small and large family day-care homes.

4.5.3 TEMPORARY USES PERMITTED (SF)

1. Agricultural uses.
2. Construction offices during construction with valid building permits.
3. Model homes and sales offices serving this site only during sales period, subject to the procedures prescribed in. Section 17.98 of the Corona Municipal Code.

4.5.4 ACCESSORY USES PERMITTED (SF)

1. Home occupations, as specified in the Corona Municipal Code, Section 17.80.
2. Non-commercial keeping of pets in accordance with Section 17.10.020 of the Corona Municipal Code.
3. Secondary residential units subject to approval per Corona Municipal Code Section 17.85.

SECTION 4: DEVELOPMENT REGULATIONS

4.5.5 CONDITIONAL USES (SF)

The following uses may be permitted subject to conditional use permits provided for in Chapter 17.92 of the Corona Municipal Code:

1. Churches.
2. Day nurseries or nursery schools (more than 12 children).
3. Public facilities other than those identified within this Specific Plan.

4.5.6 PROHIBITED USES (SF)

Uses prohibited in this district are as follows:

1. Commercial uses.
2. Manufacturing uses.

4.5.7 SITE DEVELOPMENT STANDARDS (SF-1 and SF-2)

1. Site development standards for the Land Use Areas SF-1 and SF-2 are described in Table 7.

4.5.8 SITE DEVELOPMENT STANDARDS (SF-3)

Site development standards for the Land Use Area SF-3 are described in Table 7.

Additional requirements for SF-3 single-family detached condominium neighborhoods are as follows:

1. The land area allocated to each residential unit for the building footprint and useable private open space shall be designated as the “exclusive use area.”
2. The minimum amount of useable private open space area per dwelling unit shall be 2,500 square feet. Useable private open space includes landscaped yard areas at grades of less than 10 percent. Private space associated with each unit on the front, side or rear yards may be counted as open space.
3. Open space associated with each dwelling unit, including front, side and rear yards as defined in purchase agreements as “exclusive use areas” shall be maintained by the homeowner. Other common areas such as greenbelts, parkways and median landscaping shall be the responsibility of the homeowners’ association.
4. A minimum of 100 square feet per unit shall be provided in common recreation facilities; such as pools, spas, children’s play area, tennis or other court sport areas, barbeques with tables and shade structures. However, the requirement for a common recreation facility for a subdivision shall be waived in favor of each exclusive use area having a minimum area of 5,000 square feet with rear yards being at least 20 feet deep and 1,000 square feet in area.

SECTION 4: DEVELOPMENT REGULATIONS

5. All units shall include single-story elements. "Single-story elements" shall mean that the roof height and pitch is consistent with a single-story home on a portion of the unit which contains a floor area of not less than 10 percent of the ground floor square footage.
6. Garages shall have the appearance of two-car garages from the street. Three-car garages may be allowed with a third space in tandem or as a separate garage.

4.5.9 SIGNS (SF)

The provisions of Corona Municipal Code Chapter 17.74 shall apply, except as specified under Section 5.2 herein.

4.5.10 WALLS, FENCES AND LANDSCAPING (SF)

1. Front yard landscaping and irrigation systems shall be installed by the developer or builder prior to residential occupancy. Front yard landscaping shall include a minimum of two trees and ten percent shrub coverage. On private streets, one of the two trees may be a street tree.
2. Fences and walls shall be designed according to the standards and guidelines set forth in Corona Municipal Code Chapter 17.70 and the Specific Plan Design Guidelines, Section 5.4.5.
3. All natural slopes abutting residential development with a slope gradient of 3:1 or greater shall be planted with native erosion control type material and irrigated as necessary to establish coverage in conformance with the fuel modification guidelines described in Section 5.5.

SECTION 4: DEVELOPMENT REGULATIONS

4.6 COMMERCIAL DEVELOPMENT REGULATIONS

4.6.1 GENERAL PROVISIONS FOR COMMERCIAL DEVELOPMENT

The following standards apply to all commercial development areas of Eagle Glen.

1. Night lighting shall be the minimum necessary to achieve its purpose, and shall be shielded to minimize off-site glare impacts, particularly on adjoining residential areas.
2. Driveway access into the commercial area shall be designed to avoid conflict with adjoining streets. Common access driveways shall be required, where feasible, in order to minimize access points on public streets.
3. Facades should employ variable setbacks, stepping, angling, or architectural techniques to relieve expansive, unbroken wall planes.
4. Sign standards shall be in compliance with Chapter 17.74 of the Corona Municipal Code, unless otherwise stipulated.
5. All commercial development shall comply with the community design guidelines as set out in Section 5.

SECTION 4: DEVELOPMENT REGULATIONS

4.7 COMMERCIAL DISTRICT (C)

The commercial uses associated with Eagle Glen are located adjacent to the project entrance between Bedford Canyon Road and Interstate 15. It is the intent that this Commercial Center consist of primarily neighborhood commercial uses, designed to serve area residents. The Commercial Center will be developed in accordance with policies and guidelines designed to ensure maximum compatibility with surrounding residential neighborhoods. All construction within the Commercial Center will be subject to Precise Plan review and approval. The following regulations apply:

4.7.1 PERMITTED USES (C)

The following retail commercial activities, conducted wholly within enclosed buildings, shall be permitted subject to the provisions of Section 17.40 of the City of Corona Municipal Code Ordinance as adopted.

1. Antique shops.
2. Art schools.
3. Automobile service stations.
4. Bakery goods shops (retail and not more than five (5) bakers on the premises).
5. Banks.
6. Barbershops.
7. Beauty shops.
8. Bicycle shops.
9. Blueprinting or photostating shops.
10. Book and stationery stores.
11. Carpet/Flooring sales
12. Cash and carry sales.
13. Catering establishments.
14. Cinemas/Theaters
15. Clothes cleaning, dyeing and pressing establishments (retail).
16. Clothes and wearing apparel shops.
17. Confectionery stores.
18. Convenience stores.
19. Construction project offices during construction while a valid permit is in effect.
20. Day-care.
21. Decorating or drapery shops.
22. Delicatessens.
23. Drugstores.
24. Dry goods or notions stores.
25. Film and camera sales and exchanges.
26. Financial institutions.
27. Flower shops.

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28. Furniture stores (new only).
29. Fix-it shops.
30. Gift shops.
31. Grocery stores.
32. Gymnasiums.
33. Hardware and appliance stores.
34. Hobby shops.
35. House trailers, used as a construction project office during time of construction when a valid building permit is in force.
36. Ice cream parlors
37. Interior decorating shops.
38. Jewelry stores.
39. Libraries.
40. Liquor stores, off-sale only.
41. Locksmiths.
42. Medical and dental offices.
43. Newsstand stores (indoor only).
44. Nurseries (indoor sale of plants and flowers).
45. Offices, office building, office or professional.
46. Paint stores.
47. Pet shops.
48. Photographers.
49. Plumbing shops.
50. Post offices.
51. Printing shops.
52. Public utilities customarily allowed in commercial zones.
53. Radio, television and appliance stores.
54. Restaurants (no drive-thru or live entertainment).
55. Reverse vending machines located within a permitted commercial structure.
56. Shoe repair shops.
57. Shoe stores.
58. Sporting goods stores.
59. Studio art or music stores.
60. Tailor shops, custom dressmaking.
61. Travel agencies.
62. Video rental stores.
63. Small animal hospitals for veterinary care and treatment of household pets, excluding boarding or kennel services.
64. Other similar uses which are found by the Planning Commission to be consistent with the above-listed uses, and which are consistent with the intent of this land use classification.

SECTION 4: DEVELOPMENT REGULATIONS

4.7.2 CONDITIONAL USES (C)

A. The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of Chapter 17.92 of the Corona Municipal Code:

1. Automobile parts centers.
2. Business colleges or private schools.
3. Car washes.
4. Dance academics or halls.
5. Motels and hotels.
6. Parking structures.
7. Churches equal to or exceeding an overall combined floor area of 10,000 square feet.
8. Restaurants drive-thru.
9. Restaurants with live entertainment.

B. The following uses are permitted provided a minor conditional use permit has been granted pursuant to the provisions of Chapter 17.92 of the Corona Municipal Code:

1. Bowling alleys.
2. Churches not exceeding an overall combined floor area of 10,000 square feet.
3. Clubs or lodges.
4. Smoking lounges, subject to Section 17.33.160 of the C.M.C.
5. Tobacco stores, subject to Chapter 5.19 of the C.M.C.
6. Video arcades.

4.7.3 PROHIBITED USES (C)

1. Manufacturing uses.
2. Residential uses.
3. Outdoor storage.
4. Outdoor sales (temporary outdoor sales may be permitted by a special use permit per the City of Corona Municipal Code).

4.7.4 SITE DEVELOPMENT STANDARDS (C)

All commercial land uses as designated in the land use plan shall be subject to the provisions of the C-3 General Commercial District as delineated in Section 17.40 of Corona's Municipal Code, unless otherwise specified as follows:

1. General Site Development Standards

- a. Lot Area: There are no lot area requirements. Minimum area will be determined by the building footprints of individually owned parcels within the commercial center.
- b. Lot Dimensions: There are no minimum lot dimension requirements.
- c. Building Height: No building or structure shall exceed three (3) stories or 40 feet in height.

SECTION 4: DEVELOPMENT REGULATIONS

2. Setbacks

- a. There shall be a landscaped street setback requirement of 15 feet applied to the entire street frontage of the commercial center along Bedford Canyon Road as illustrated by Exhibit 5-7. Parking is not permitted within this setback.
- b. There shall be a minimum 30 foot side and/or rear building setback with a ten foot landscaped buffer when a commercial district abuts any residential district on the side abutting said residential district.
- c. The provisions of Sections 17.64.020 through 17.64.040 of Corona's Municipal Code shall apply.

3. Coverage

There is no maximum building coverage provided that the parking and landscaping requirements stipulated in Sections 17.76, 17.78 and 17.70 of Corona's Municipal Code are met.

4. Walls, Fences and Landscaping

- a. Landscaping shall be required per Section 17.70 of Corona's Municipal Code, except as specified in Section 5.4 herein.
- b. Landscaping, fences and/or walls shall be utilized to visually screen and/or physically enclose loading docks and ramps, transformers, storage tanks, and other appurtenant items of visual sensitivity.

5. Access

- a. Parking shall be oriented to permit pedestrian flow to shops without having to cross numerous traffic aisles.
- b. Entry identification through enriched paving (i.e., stamped concrete, interlocking pavers, etc.) of driveways shall be provided at major entries.
- c. Customer access and circulation should be separated from service/truck areas.

6. Signs

Signs shall be regulated by the provisions of Corona Municipal Code Chapter 17.74 for the C-3 Zone, except as specified herein.

- a. Free-standing signs shall be monument type. No pole signs are permitted.
- b. Structural sign elements shall be faced with wood, stucco, or other masonry materials where appropriate.
- c. Temporary banners are allowed subject to the provisions in the City of Corona Municipal Code and require the approval of a banner permit.
- d. Signs which move, or which have moving parts or flashing lights, shall not be allowed.

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- e. The illumination of any sign shall be by indirect or diffused methods of lighting and shall not cast light off the commercial site.
- f. One monument sign is permitted per each street or freeway frontage. Two monument signs may be proposed on a single street or freeway frontage as long as the property has more than one street frontage and that no monument sign exists or is proposed on the other said frontage.
- g. Monument signs may be within the required setback area and may include individual or group enterprises, but shall not be located within a required corner cut-off. Monument signs shall not exceed eight feet in height, but may be a maximum of 10 feet in height if located more than 15 feet from the street property line.
- h. The freeway monument sign(s) may be a maximum of 15 feet in height.
- i. A sign program shall be included with the Precise Plan for each center or building.
- j. Signs within each center shall be integrated into a common theme with compatible colors, materials and styles. Sign materials and colors shall complement the buildings.
- k. Under-canopy signs are permitted to identify each business to pedestrians. The maximum size shall be 2 feet by 4 feet.
- l. The maximum number of permitted tenant signs on a monument and/or freeway monument sign shall be four. All monument signs shall advertise the name of the center.

7. Lighting

- a. Light rays shall be confined on site through orientation, the use of shading/directional controls and/or landscape treatment.
- b. Lighting fixtures shall complement fixtures in adjacent development and shall enhance community character.
- c. Lighting shall be sufficient to provide reasonable safety for persons and property, allow sufficient illumination to identify hazards to pedestrian and vehicular circulation, and permit routine surveillance by security personnel.

8. Off-Street Parking

- a. Pedestrian walks separated from vehicle parking areas to building complex shall be provided, whenever possible.
- b. Parking shall be screened from streets through berming, walls and landscape which are at least 3 feet in height to create a sufficient headlight buffer zone.
- c. All other off-street parking conditions shall be provided in accordance with the provisions of Chapter 17.76 of the Corona Municipal Code.
- d. No loading areas are permitted between the building and street frontage. Loading areas shall be screened from view of the streets and residential areas.

SECTION 4: DEVELOPMENT REGULATIONS

4.8 OPEN SPACE - GOLF COURSE DISTRICT (O-GC)

Land designated as Golf Course (O-GC) is intended for the Eagle Glen 18-hole golf course, practice range, clubhouse and other golf-related facilities. The community water storage reservoirs and emergency communication facility may also be located in this district.

4.8.1 PERMITTED USES (O-GC)

The following uses are permitted in the Open Space - Golf Course District:

1. Golf courses and related facilities as described in Section 3.2.3.
2. Swimming pools and tennis courts.
3. Public parks and sports fields.
4. MWD waterline as described in Section 3.4.1.
5. Communication facilities as described in Section 3.4.6.
6. Water storage reservoir and related facilities as described in Section 3.4.6.

4.8.2 DEVELOPMENT STANDARDS (O-GC)

1. Lot Area: No minimum
2. Maximum Building Height: 35 feet
3. Minimum Building Setbacks:
 - a. Front Setback - 50 feet
 - b. Side Setback- 30 feet
 - c. Rear Setback - 50 feet
4. Landscaping will be based on the Landscape Guidelines found in Section 5.4,
5. Lighting Standards:
 - a. Golf Course lighting shall be designed to maintain the rural character of the local area.
 - b. Light standards shall not exceed 24 feet in height.
 - c. Security light sources shall be kept in operation at night.
 - d. Lights shall be placed so as not to cause glare or excessive light spillage on neighboring sites.
 - e. The design of light fixtures and their structural support shall be architecturally compatible with the surrounding buildings.
 - f. All parking lot and driveway lighting shall provide uniform illumination.
6. All off-street parking conditions shall be provided in accordance with the provisions of Chapter 17.76 of the Corona Municipal Code.

SECTION 4: DEVELOPMENT REGULATIONS

4.9 OPEN SPACE - (O-OS)

Land described as Open Space (O-OS) by the Eagle Glen Land Use Plan includes areas of open space located between the golf course (O-GC) and the Single-Family Estate (HR) area, open space along the slopes immediately southeast of Eagle Glen Parkway and the open space connector located between the sports park and the neighborhood park.

4.9.1 PERMITTED USES (O-OS)

The following uses are permitted in the Open Space District:

1. Access and service roads.
2. Overlooks.
3. Remedial grading.
4. Sidewalks.
5. MWD water line as described in Section 3.4.1.
6. Public utilities.
7. Utility easements or rights-of-way.
8. Other uses, which are found by the Planning Director to be consistent with the purpose and intent of the O-OS designation and which are found compatible with the uses stated above.

4.9.2 DEVELOPMENT STANDARDS (O-OS)

1. Lot Area: No minimum
2. Maximum Building Height: 15 feet, except that the community reservoir and communications tower which may be a maximum of 40 feet in height.
3. Minimum Building Setbacks:
 - a. Front Setback - 25 feet
 - b. Side Setback - 10 feet
 - c. Rear Setback - 25 feet
4. Access: Access and driveways shall not be developed for motorized vehicles except for maintenance purposes or for future access to the Hillside Reserve Area (HR), in accordance with Section 3.2.3, and with the approval of the appropriate departments and agencies. Maintenance of these areas shall be the responsibility of the appropriate maintenance district or homeowners association.

SECTION 4: DEVELOPMENT REGULATIONS

4.10 PARK DISTRICT (P)

Land designated as Park District (P) by the Eagle Glen Land Use Plan is intended for the 13-acre sports park and the 5-acre neighborhood joint-use park located adjacent to the elementary school site.

4.10.1 PERMITTED USES (P)

The following uses are permitted in the Park District:

1. Parks and playgrounds.
2. Playfields and ball fields.
3. Skate facilities.
4. Sports-related structures such as grandstands, and special fencing.
5. Maintenance facilities.
6. Other features and facilities commonly associated with neighborhood and sports parks.

4.10.2 GENERAL PARK PROVISIONS (P)

The following standards apply to the development of public park facilities within the Eagle Glen Specific Plan area:

1. The Eagle Glen park dedication requirement, based on 1,443 units is 16.79 acres.
2. The proposed project has a park development requirement, based on 16.79 acres x \$120,000 (cost to develop one acre of neighborhood park) of \$2,014,800.
3. The project has a park dedication/development commitment of 20 acres (per the Pre annexation Agreement). In light of this, the developer is dedicating a total of 18 park acres (5-acre neighborhood park and 13-acre sports park) and paying in-lieu Quimby fees for the remaining two (2) acres obligation.
4. The in-lieu Quimby fees for two acres are based on the fair market value of the land which is determined by an appraisal. At this time the fair market value is estimated to be \$65,000 per acre, or \$130,000 for 2 acres.
5. The 1.5 million dollar park development obligation, plus the \$130,000 from above, totals \$2,144,800.
6. The developer and City of Corona shall enter into a Park Development Agreement. The Park Agreement will specify the timing of the park development and describe the facilities to be constructed.

SECTION 4: DEVELOPMENT REGULATIONS

7. The developer shall grade the park sites (13-acre sports park and 5-acre neighborhood park).
8. The proposed park sizes, locations and master plans shall be reviewed for approval by the Parks and Recreation Commission prior to City Council approval.
9. The developer shall satisfactorily complete a Property Dedication Environmental Review (Phase I) prior to the dedication of the park Sites.
10. The developer shall offer both park sites to the City of Corona on the final master tract map via an “irrevocable offer to dedicate.” Maintenance shall be the responsibility of the City of Corona. Improvement of the park sites, by the developer, shall occur as described in the Pre annexation Agreement, the approved Parks Master Plan and the Eagle Glen Phasing Plan.
11. Open Space and recreational uses shall be designed to visually integrate into adjacent development concepts.
12. The parks shall be bordered by public streets and primary access shall be from collector streets, with adequate on-site parking provided.
13. Play equipment and other amenities shall be designed and constructed for maximum durability and minimum maintenance.
14. The parks shall be located and designed to facilitate surveillance by nearby residents, security services and police.

SECTION 5: COMMUNITY DESIGN GUIDELINES

PURPOSE AND INTENT

The Eagle Glen Community Design Guidelines embody a comprehensive system of architectural and landscape design standards which establish and reinforce the themes suggested by the Eagle Glen Specific Plan. As guidelines, they should be used by project designers to assist in preparing final project designs.

A unified design theme will help create a cohesiveness and a sense of place. The architectural and landscape elements, when implemented, will provide a balanced and responsive solution to the enhancement of the community.

The Community Design Guidelines serve the following functions:

- To establish architectural and landscape design guidelines for Eagle Glen for the use of the master developer as well as developers or builders of individual on-site projects.
- To provide implementation criteria for use by builders, planners, architects, landscape architects and civil engineers under the direction of the developer or their assignees.
- To provide homeowners with guidelines and recommendations, to aid in maintaining the high level of community cohesiveness and unity, while still allowing for a degree of personal expression.
- Eagle Glen shall utilize the principles of Crime Prevention through Environmental Design and Defensible Space concepts to help reduce crime for a safer community.

All design issues, including access and circulation, visibility, building orientation, fuel management, and lighting and landscaping standards, shall be reviewed through tract maps, precise plans, and design review as submitted to City staff.

The design concepts and associated community design guidelines are intended to encourage quality development. Although general in nature, a brief overview of the design concepts follows to provide a background for the interpretation of the architectural style and community design.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.1 COMMUNITY DESIGN CONCEPTS

Although this is a new community, there will be great attention taken to create the image of historical longevity. Each element of site planning, architecture and landscape architecture will be selected from a palette of building and landscape styles conducive to the area and the City of Corona to create a unified community. Variations in scale and density of elements, such as plant material, walls, signage and streetscapes will help establish hierarchies of land use and identify different land uses and neighborhoods.

A single architectural design style has been selected for all non-residential structures. The Early California style will be the unifying signature element which links all non-residential buildings and compliments the Eagle Glen landscape concepts.

The landscape will play an important role in establishing the framework of the community and its image. The use of palm trees and evergreen canopy trees will help to tie the project theme into the existing southern California rural environment. Walls and fences will be subtly tucked into the landscape as community theme walls, which also serve as a buffer between land uses.

The community structure of Eagle Glen will be largely based on an easily identifiable landscape design hierarchy, established primarily through the use of landscape elements. Theme walls and signage, combined with landscaping, will constitute a framework of entry elements which are down-scaled as distance from the major entry increases and development intensity decreases. The interior community design framework consists of the major entry, the neighborhood entries, and the streetscapes. Each of these areas is comprised of components that are organized individually to promote identity of different areas within a consistent community character framework.



SECTION 5: COMMUNITY DESIGN GUIDELINES

5.2 RESIDENTIAL DESIGN GUIDELINES

The residential design guidelines are provided to guide the development of the residential neighborhoods of Eagle Glen so that future permit approvals will create a visually attractive community that is sensitive to the surrounding environment. Precise architectural styles are not prescribed by these residential guidelines. Rather, the intent is to allow and encourage a variety of residential styles which will support the dynamic character created by the non-residential structures of Eagle Glen. These guidelines should be addressed in subsequent design review applications unless it is demonstrated that certain guidelines are not applicable, appropriate, or feasible under the circumstances.

5.2.1 HEIGHT AND MASS

1. Height shall be determined by the residential development standards of this document. However, the underlying theme of the massing should be to maintain a human scale and low profile.
2. Building lines should emphasize horizontal elements and roof lines.
3. Second story should be set back from internal streets to help create human scale in proportion to the development regulations.
4. Garage elements should be single story where possible.
5. The use of reverse building plans to add articulation is encouraged.
6. Building forms shall be designed to create and define a visually attractive and functional exterior.
7. Combination of one- and two-story units create yard variation and visual interest, and are encouraged.
8. Large expanses of flat wall planes vertically or horizontally are discouraged.
9. Buildings shall incorporate strong simple massing with broken and varied elements.
10. Building masses should be predominantly asymmetrical.
11. Combining one- and two-story elements is encouraged.
12. Use of staggered garage setbacks and side-on garages to enhance the street scene appearance is encouraged.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.2.2 ROOF TYPE

1. Roof pitches typically shall be from 4:12 to 6:12.
2. Roofs pitched for a porch may be slightly shallower than the building.
3. Roof types should be limited to traditional forms including gable, hip, or shed roofs.
4. The use of strong horizontal roof planes is encouraged.
5. Varying plate heights and ridge heights are encouraged.
6. Roofing materials shall be “S” or flat tiles manufactured of clay or concrete, fiberglass shingle, or simulated slate or shingle manufactured from concrete.
7. Roof colors may vary but should be compatible with neighboring elevations.

5.2.3 MATERIALS

1. Wall surfaces should be principally exterior plaster or stucco with a smooth, sand, light lace, or semi-smooth finish.
2. Accent materials may include wood, brick, tile, glass block, river rock, and appropriate stone.
3. Wood trim shall be stained with light-colored, semi-transparent stains, or painted as accents.
4. Materials shall not be used to form any high contrasting or graphic pattern that would cause visual distraction.
5. Walls and fences should be of masonry, stone, stucco, wood, tubular steel or wrought iron material with color treatment consistent and integral with adjacent buildings.
6. Patio trellises, arbors, and other exterior structures may be of stucco or wood.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.2.4 COLORS

1. Color is intended to act as a primary theme-conveying element. The values should remain light, although darker or lighter accents are encouraged to highlight building character.
2. Colors should not be bright, reflective, metallic, or otherwise visually out of character with the natural setting. In addition, colors such as pink that contrast with the landscape should be avoided.

5.2.5 WINDOWS AND DOORS

1. Fully recessed openings are encouraged and projecting windows may be used to add articulation to wall surfaces.
2. The incorporation of window or door surrounds and similar architectural statements are encouraged.
3. Rectangular, half-round or full-round attic vents on walls are encouraged.
4. Entry doors may be wood or metal and either glazed or decorative in nature.
5. Wood frame windows are encouraged. Divided light or mullioned windows are encouraged where appropriate.

5.2.6 ARCHITECTURAL DETAILS

1. Gutters and downspouts should be concealed or exposed if designed as a continuous architectural feature. Exposed gutters and downspouts shall be painted to match adjacent roof or wall material.
2. Skylights are to be designed as an integral part of the roof. Their forms, location and color should relate to the building.
3. Solar panels are to be integrated into the roof design, flush with the roof slopes. Frames should be colored to complement the roof. Support solar equipment shall be enclosed and screened from view.
4. All flashing, sheet metal, vent stacks and pipes shall be painted to match adjacent building surface.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5. Chimneys should be simple forms in general using the same masonry or siding material for the rest of the house, with trim at the top that repeats the trim of the house. Chimney caps should be simple shapes made of painted metal.
6. All mechanical equipment should be screened from public view.
7. Garage doors shall be simple in design. Accent colors are encouraged to highlight the architecture and provide visual variety along the streetscapes. Metal sectional “roll-up” doors are strongly encouraged.

5.2.7 ESTATE HOMES

1. Building bulk and height should relate in scale to the size, shape and topography of the site.
2. High elevation estate areas bordering natural open space should be designed to maximize resident views and minimize public access traffic and fire hazard within the open space areas.
3. Structures on a sloping site shall be situated so as not to impact the natural silhouette of ridge lines, natural landscape and open space.
4. Architectural solutions for natural siting of structures shall be sensitively designed so as not to expose an unsightly structural under-system.
5. Screening materials shall consist of fences, landscaping and/or berming, and use of the natural terrain where possible.
6. Screening materials shall be compatible with surrounding architecture and landscaping.
7. Estate homes are within a high wild land fire area and should be designed with materials and construction features which provide maximum fire protection such as boxed eaves, dual pane windows and larger wood on patios.

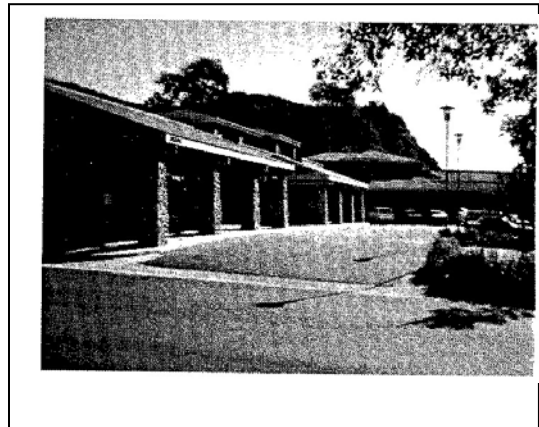
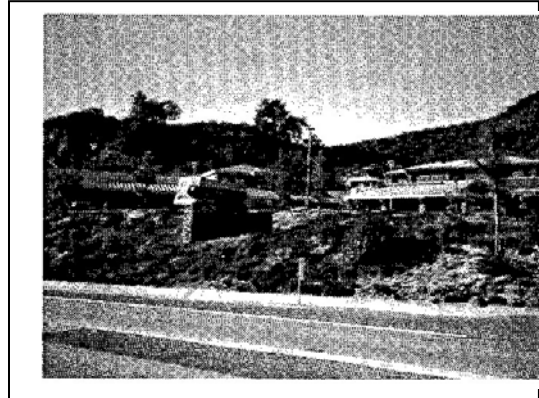
SECTION 5: COMMUNITY DESIGN GUIDELINES

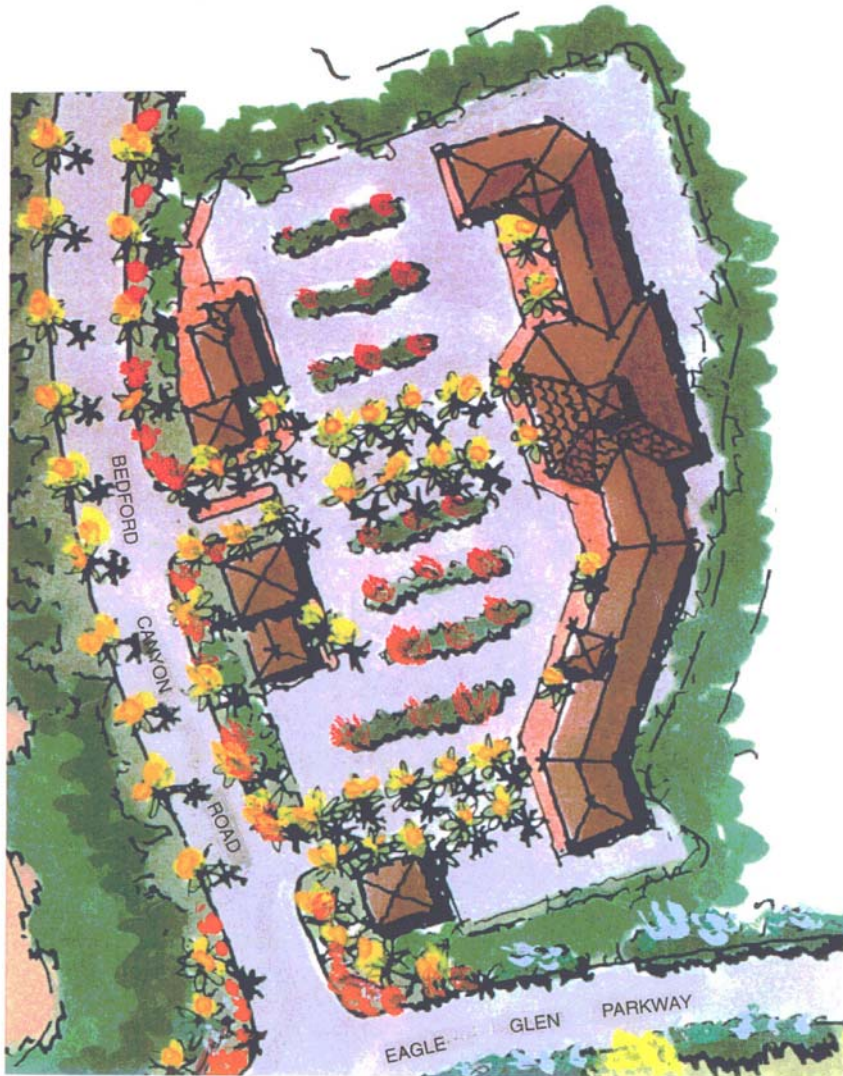
5.3 NON-RESIDENTIAL DESIGN GUIDELINES

The strong character features and rich, deep colors of the Early California style of architecture will direct focus on the non-residential structures of Eagle Glen. The commercial center, golf clubhouse buildings, park structures, and perhaps, the elementary school, will feature this dynamic style. A conceptual illustrative plan for the Commercial Center is show on Exhibit 5-1.

5.3.1 SITE PLANNING

1. The character of the commercial center and golf clubhouse should be compatible and complementary.
2. Where feasible, shops and facilities should be in building groupings in order to achieve a “village” scale appropriate to the functions and size of the commercial center.
3. Compatibility of architectural design and appearance of non-residential development, including signage throughout the Specific Plan area should be sought.
4. The site design of the commercial center should reflect its prominent location as an entry to south Corona.
5. The park program should compliment its location and adjacent land use opportunities.





Note: This graphic depicts design concept only and is not intended to represent final design.

SPECIFIC PLAN

Eagle Glen

City of Corona, California

CORONA COUNTRY CLUB ESTATES, L.L.C.
 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 5-1

**CONCEPTUAL COMMERCIAL
 CENTER ILLUSTRATIVE PLAN**

N.T.S.



SECTION 5: COMMUNITY DESIGN GUIDELINES

6. Adequate parking should be provided for park and golf course users.
7. Site design of the commercial center should include pedestrian features and gathering areas such as plazas, fountains, arbors, etc.

5.3.2 ARCHITECTURAL CHARACTER

The Early California style of architecture has been selected for all non-residential development at Eagle Glen. This style specifically applies to the commercial center and golf course facilities. In order to promote community compatibility, application of the Early California style to the elementary school and park facilities is also encouraged.

The Early California architectural style is historically tied to the residential scale of California outdoor living as represented by natural looking materials, low profile architectural forms, patios and overhanging sun screens, heavy-looking wall sections. Minimal window openings for interior climatic control, and overall use of materials that is timeless by improving with age and patina. A strong relationship is created between plant material and building forms so that the two join and support each other, such as with the transition of climbing vines, trellises, tree shade and the use of indoor/outdoor paving materials.

Conceptual elevation views of the golf clubhouse are shown on Exhibit 5-2.





FRONT ELEVATION



REAR ELEVATION (VIEW FROM GOLF COURSE)

Note: This graphic depicts design concept only and is not intended to represent final design.

SPECIFIC PLAN

Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.
10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

SOURCE: KNITTER AND ASSOCIATES
NEWPORT BEACH, CA

TYPICAL CLUBHOUSE ELEVATIONS

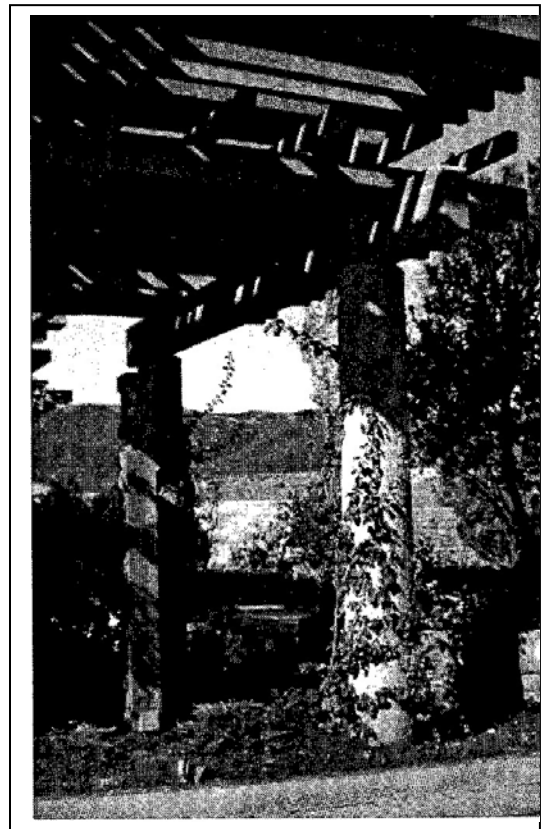
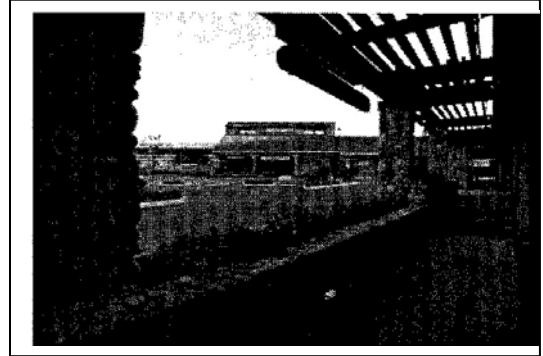
EXHIBIT 5-2

N.T.S.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.3.3 BUILDING MASS AND FORM

1. Individual structures and their related architectural elements should be visually consistent to provide a unified architectural theme.
2. Building bulk and height should relate in scale the size, shape and topography of the site.
3. Significant architectural elements, such as columns, arcades, balconies, dormer windows, etc., should be utilized to provide focal points and visual interest in addition to providing pedestrian spaces.
4. The following forms are encouraged as expressions of the Early California style:
 - a. Arches – predominantly semi-circular;
 - b. “Thick” walls which reflect a heavy masonry construction style;
 - c. Doors and windows should be recessed from the exterior wall surface to accentuate the appearance of thick walls.
 - d. Massive structural elements such as columns, arch bases and building foundations. Columns used as structural or aesthetic design elements should convey a solid, durable massive image.

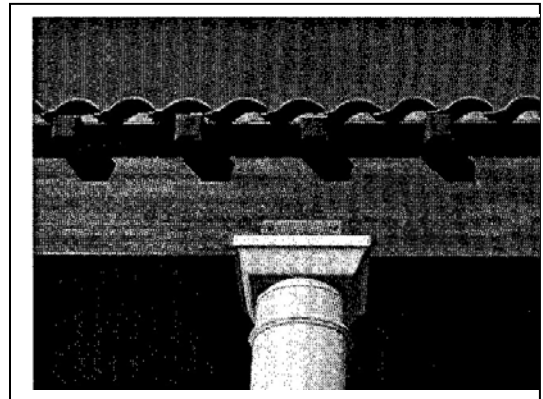


SECTION 5: COMMUNITY GUIDELINES

- e. Columns may be used as a free-standing form or as a support for porch roofs and balconies.
 - f. Square or cylindrical plaster or stone columns are encouraged.
- 5. Entrances should be clearly defined and inviting.
 - 6. Roof lines should be predominantly horizontal.

5.3.4 ROOFS

- 1. Principal roof forms shall be gable or hip with pitches from 3:12 to 6:12.
- 2. All pitched roof materials shall be clay or concrete tile.
- 3. Creating jogs in the ridgeline is encouraged.
- 4. Roof lines shall be broken and varied with an overall horizontal context.
- 5. Roofing materials should reflect the color of the native clay materials which were used in the manufacture of the tiles.



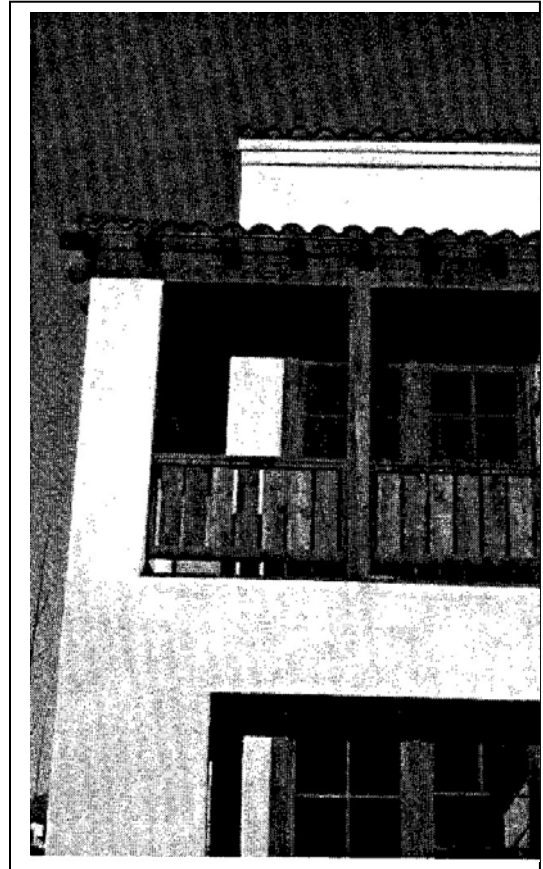
SECTION 5: COMMUNITY DESIGN GUIDELINES

5.3.5 MATERIALS

Early California construction mainly involved the use of adobe brick encased in an indigenous plaster. It utilized rough sawn, hand hewn and native materials. The buildings of the period reflected the fact that materials were harvested, manufactured and assembled by hand utilizing workers with only basic skills. Therefore, the final product should reflect the relative rough nature of these processes.

The materials suggested by these guidelines are those which best resemble the historic materials and process, and are summarized below.

1. Rough sawn lumber, preferably with uneven edges for rafter tails, beams, posts and trim.
2. Rafter tails shall be four (4) inches or larger.
3. Wood posts should be six (6) inches or larger.
4. The underside of eaves, porches and colonnades should be wood planking or exterior plaster.
5. Exterior columns for trellises, porches or colonnades shall utilize materials and colors which are compatible with the adjacent building.



SECTION 5: COMMUNITY DESIGN GUIDELINES

6. Exterior plaster should be smooth trowel finish, sand finish, or float finish which simulates plaster over an uneven adobe brick structure.
7. The use of bull nose or beveled corners at plaster walls is encouraged.
8. Use of wood lattice should be limited.
9. Bold trim and patterns are discouraged.
10. The buildings and their elements should be unified in the textures, colors and materials to provide an order and coherence, not only with themselves, but with the surrounding structures and environment.
11. The crisp, clean and simple use of stone, brick, tile and masonry are permitted as design accent and trim.
12. Patio trellises, arbors and other exterior structures may be of stucco, wood or precast concrete. They shall incorporate forms typical of the Early California style.
13. Wall treatments, viewed from public spaces, shall be float or sand finish or smooth trowel finish stucco or precast concrete, consistent in treatment with the adjacent buildings.
14. Materials should enrich the building to give it a sense of character and integrity.



SECTION 5: COMMUNITY DESIGN GUIDELINES

15. Materials which are similar to those specified herein and provide the intended appearance may be substituted for consideration during the design review process.

5.3.6 COLORS

1. Because Early California builders derived their materials from the immediate environment, the materials reflect the colors of the earth, clay and woods which they used. The colors which typically predominate are:
 - a. Color is intended to act as primary theme conveying element, and reflective of Early California styles. In general, the values should reflect earth tone hues, with a preference toward the darker tones of the range. Darker or lighter accents are encouraged to highlight the buildings.
 - b. Roofing materials shall reflect the colors of the clays which were predominantly used in the manufacture of the tiles.
 - c. Variegated roof tiles may be used.
2. Exposed gutters and downspouts shall be painted to match adjacent roof or wall material.
3. All flashing, sheet metal, vent stacks and pipes shall be painted to match the adjacent building surface.



SECTION 5: COMMUNITY DESIGN GUIDELINES

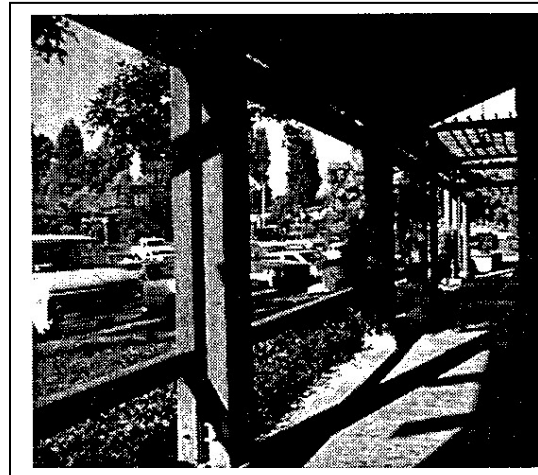
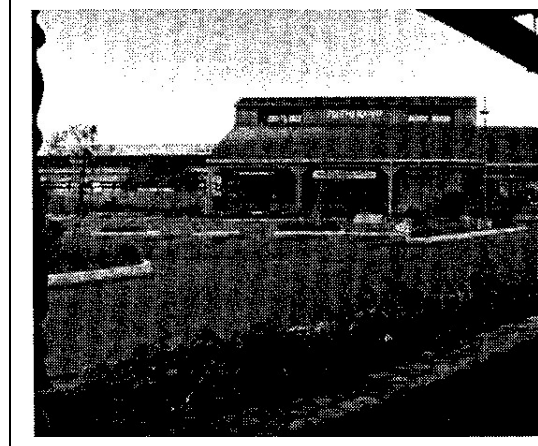
4. Subtle accent colors may be used to identify special areas such as entries.
5. Color accented window frames are encouraged.
6. Accent colors should not be highly contrasting, arbitrary or graphic. Color should not be used as an attention seeking architectural element but rather to articulate entries or other architectural features.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.3.7 STOREFRONTS - DISPLAY AREAS

The use of large areas of glass is not characteristic of Early California architecture. Such display areas, however, may be necessary for contemporary retailing. Therefore, these guidelines are written with the intent of allowing larger areas of glass by creating an architectural context within which these areas can fit.

1. Where large areas of glass are necessary they shall be broken by the use of columns, as if set within a colonnade. They may be used when set within large areas of wall.
2. Window openings shall be simple rectangular, or arched.
3. Windows shall be recessed as if set within a thick masonry wall.
4. The use of divided sash windows is encouraged; such windows at retail locations may utilize larger individual panes.
5. Where standard metal storefront sections are used, they should be constructed to provide divided panes. Individual panes shall be a maximum of 36 inches in any direction.
6. Color accented window frames are encouraged.
7. Reflective or metallic windows and framing should be avoided.



SECTION 5: COMMUNITY DESIGN GUIDELINES

5.3.8 LOADING ACCESS - TRASH SCREENINGS

1. Loading and service areas shall not be visible from street frontages or along the freeway corridor. Loading docks and service areas should be located on interior building side or rear yards and concealed from public view.
2. Loading dock areas shall be articulated and painted to match the building.
3. Access to service ways should be from side streets with truck traffic avoiding main, pedestrian-oriented streets, wherever possible.
4. All service and loading areas shall be positioned so service vehicles will not disrupt traffic flow to or from the site.
5. Trash enclosures shall be finished using materials compatible with the surrounding architecture, and should be softened with landscaping. Gates shall be solid metal painted to match adjacent buildings.
6. Architectural screening shall be constructed of the same materials and finishes compatible with the adjacent building, and shall be designed and placed to complement the building design.



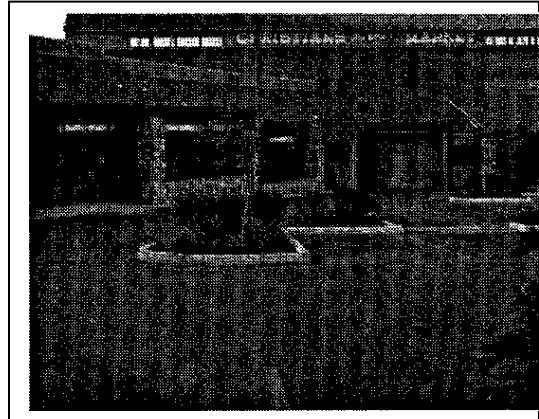
SECTION 5: COMMUNITY DESIGN GUIDELINES

5.3.9 SCREENING

1. Roof-mounted mechanical equipment shall be screened on all sides. Any devices located on the building should be properly screened to minimize visual impact.
2. Mechanical equipment such as ground transformers located away from the building must be screened from public view, including top, if practical.

5.3.10 CIRCULATION

1. Monumentation, special textured paving, flowering accents and shrubs and the use of specimen trees may be used to generate interest at major entry points to the commercial center and golf course.
2. Pedestrian and vehicular entrance should be clearly identified and easily accessible to minimize pedestrian/vehicle conflict.
3. Where parking must be oriented toward a public street, the parking shall be screened with berming, landscaping or other effective methods.
4. Parking facilities shall be designed in such a manner that any vehicle on the property will be able to maneuver so that it may exit from the property traveling in a forward direction.



SECTION 5: COMMUNITY DESIGN GUIDELINES

5. Parking shall be separate from adjacent landscaping with a continuous concrete curb which shall function as a wheel stop. Parking overhang shall be allowed per City standards.
6. Parking location and layouts should be easy and safe for pedestrian circulation.
7. Design parking areas so that pedestrians walk parallel to moving cars. Minimize the need for pedestrians to cross parking aisles.
8. Pedestrian and bicycle linkages should be provided to the community-level network. While sidewalks will be required on the perimeter roadways by City policies, an internal, attractive pedestrian way should be integrated into the design of the commercial buildings and shops.

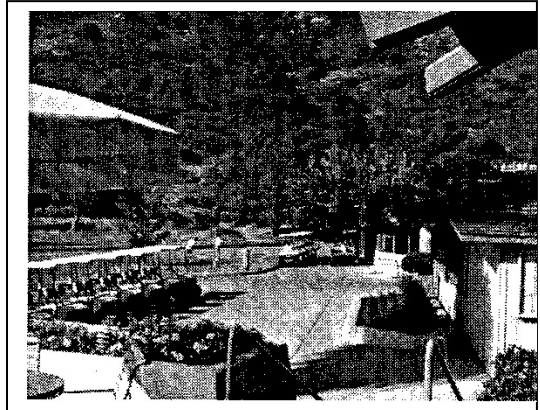
SECTION 5: COMMUNITY DESIGN GUIDELINES

5.3.11 LANDSCAPE ARCHITECTURE

The Commercial Center landscape creates a unified landscape theme that relates directly with the rural landscape theme of the community while allowing for appropriate views into the retail site. The Commercial Center will have a less dense and airy planting along Bedford Canyon road, thereby aesthetically enhancing the exterior perspective of the site while promoting views of the Commercial Center from Bedford Canyon Road. The Commercial Center receives a backdrop of the same planting theme used along the Eagle Glen Parkway and Bedford Canyon Road. Parking is screened from Bedford Canyon Road through the incorporation of berms, low walls and shrubs, with no parking in the first 15 feet.

Internal access ways throughout the parking area will be planted with consistent tree varieties for continuity. Tree placement is carefully considered to improve visibility through the parking area to the storefronts.

Water efficient measures described in Section 17.70.070 of Corona's Municipal Code shall be incorporated into the final landscape plans for the Commercial Center.



SECTION 5: COMMUNITY DESIGN GUIDELINES

2. The golf course entry strongly relates to the surrounding community landscape theme. The entry drive continues the landscape themes established by the community collector road providing a strong and memorable theme to the community experience. Tree accents highlight the way towards the clubhouse while a unified backdrop featuring the community theme tree provides continuity. The contouring is sympathetic to the surrounding land forms. These elements all combine to create a unified and bold golf course entry experience.



5.3.12 SIGN CONCEPTS

1. The use of a symbolic format for signs, such as the incorporation of arrows or graphics, is encouraged.
2. Monument signs are encouraged and should comply with all applicable signage guidelines and be integral with the landscaping.
3. Site identification signs shall be limited to identifying the complex, building or businesses occupying the site.
4. Sign materials and colors shall complement the building.
5. Signs may be attached to a building wall, hung from an overhang, or be freestanding.

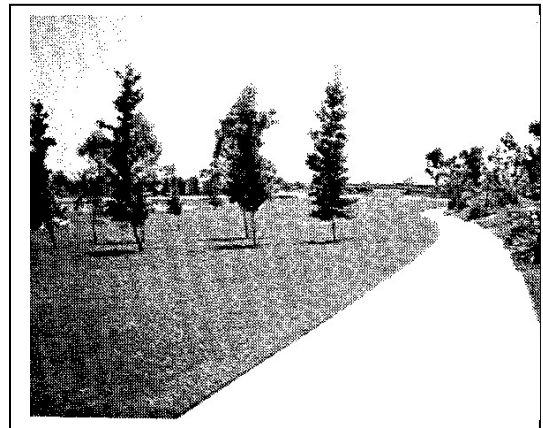


SECTION 5: COMMUNITY DESIGN GUIDELINES

6. Tract identification signs, if provided, shall be incorporated into community theme walls with low maintenance materials and design.
7. Developers may participate in the City Kiosk Sign Program with kiosk signs such as the example shown on this page.

5.3.13 PARKS

1. The park program should compliment its location and adjacent land use opportunities.
2. Adequate parking should be provided for park users.
3. Basic park furnishings such as trash containers, picnic tables, benches and drinking fountains should be provided.
4. Fixtures and furnishings designed to withstand heavy use should be selected.
5. Provide clear delineation between public and private maintenance zones.
6. Creative design of the play facilities and apparatus is encouraged.
7. Natural or created elevation changes and natural vegetation or landscaping should be utilized to create a transition between development areas and areas adjacent to open corridors.

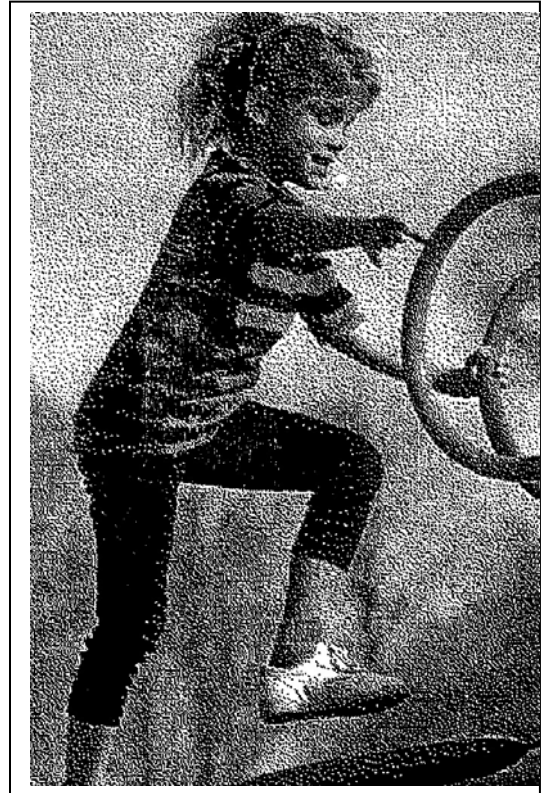


SECTION 5: COMMUNITY DESIGN GUIDELINES

8. Parks should be connected to the community pedestrian trail system where feasible.
9. The park site located adjacent to the school site should optimize use of all facilities, including playfields and parking areas whenever feasible.
10. Separations between park uses and vehicular traffic should be provided.
11. The park program should be developed based on available funding and public resources for maintaining and improving park facilities.
12. The park program should be designed with low maintenance requirements.

5.3.14 SCHOOL SITE

1. The design and siting of school/park facilities should take into account aesthetic impacts on the surrounding community. An architectural style (Early California style is encouraged), building materials and colors appropriate to the surrounding neighborhoods should be utilized.
2. The selection of recreation/play-ground facilities should be coordinated with those provided in the park site, particularly with regard to multi-purpose courts and playfields.
3. Particular care should be taken to design secure, safe facilities. The



SECTION 5: COMMUNITY DESIGN GUIDELINES

principles of crime prevention design should be employed in planning the school/park joint-use site.

4. Safe access by students should be considered in the siting and design of the school facilities.
5. Cross-connections between the park and school are encouraged.
6. Entry landscape should complement adjacent development and extend the streetscape concepts.
7. Travel by bus, private car, bicycle and foot should be considered in designing internal pick-up/drop-off points and parking areas.
8. A low canopy planting concept is suggested to maintain unobstructed view corridors to the major activity areas.



SECTION 5: COMMUNITY DESIGN GUIDELINES

5.4 LANDSCAPE AND COMMUNITY DESIGN GUIDELINES

5.4.1 LANDSCAPE CONCEPT

The community landscape concept for Eagle Glen creates a clear, identifiable environment for the community highlighting and relating to the surrounding hillside context. This concept is further reinforced by a series of design principles. The principles are derived from a recognized need to blend the Eagle Glen community with the existing environment. These principles address all proposed land uses while respecting the topographic character of the site. The landscape concept includes:

1. Overall informal landscape theme characteristic of the surrounding natural environment.
2. Formal landscape designs for the golf course entrance area.
3. Landscape treatments for the Commercial Center that will provide visibility and function while relating to the adjacent community.
4. Informal landscape character throughout the community except for the golf course entrance and the Commercial Center.
5. Subtle transitions between landscape themes and a blending between informal landscaped areas and natural vegetation.
6. Design character for the Eagle Glen Parkway streetscape that conveys a sense of passing through natural terrain and landscape.
7. Local pedestrian trail to maximize open space experience and viewing potential.
8. Conservation of water through the use of reclaimed water and drought-tolerant plant materials where possible.
9. Adequate fuel modification zones for protection from wild land fires.

These landscape design concepts have been incorporated into the Eagle Glen Landscape Concept Plan which is illustrated by Exhibit 5-3.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.4.2 ENTRY TREATMENTS

Entry treatments provide the first impression of community character. Entries should convey the distinct sense of arrival and express community themes. Community entry locations are shown on Exhibit 5-3.

1. Major Entry

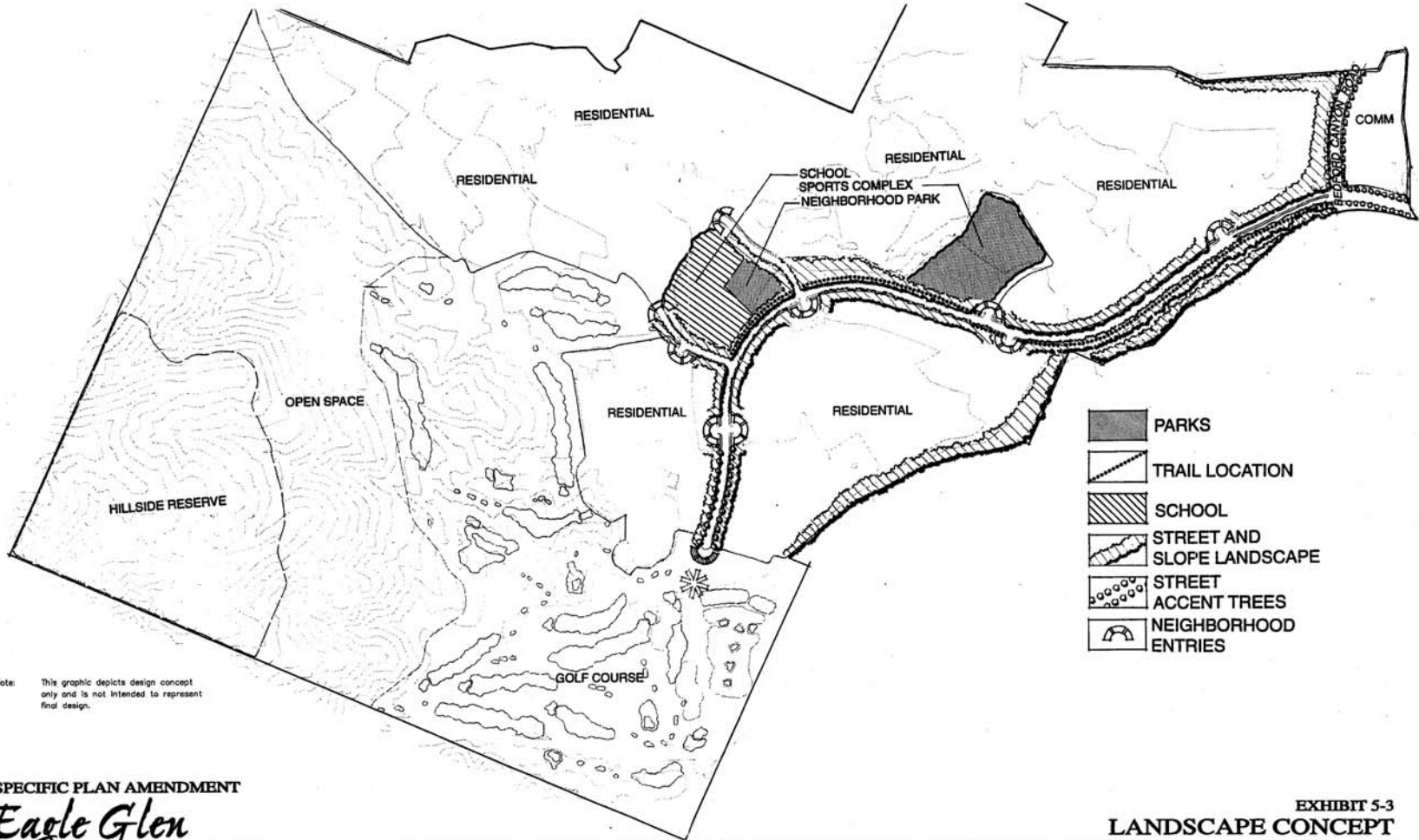
The major entry provides a strong sense of arrival and a memorable introductory experience reinforcing the feeling of rural architecture and landscape. This entry is located at the intersection of Bedford Canyon Road and Eagle Glen Parkway. Formal plantings of palm trees, the project accent tree, frame the community entrance along both sides of Bedford Canyon Road to the north and south. The plantings highlight this intersection and unify the street edges creating a clear sense of arrival to the community. The major entry is illustrated on Exhibit 5-4.

The west corner of the major entry presents a formalized appearance. A distinctive pedestrian arbor provides a unique architectural element at this corner highlighting the entry experience. This architectural feature will potentially include project signage and incorporate low accent groundcover adjacent to the structure. The southwest corner of the major entry area will present a less formal landscape treatment which also features a shade structure and marks the beginning of a meandering trail which extends into the community, parks and school site. The trail is bordered on both sides by informal plantings of deciduous and evergreen trees. The informal plantings will blend into the natural vegetation of the slopes leading down to Bedford Canyon Wash. Portions of the golf course will be visible from the meandering trail near the entry intersection. A typical pedestrian arbor is shown on Exhibit 5-5.

2. Neighborhood Entries

The neighborhood entry provides a cohesive community landscape experience. Entries to residential neighborhoods occur along Eagle Glen Parkway as shown on Exhibit 5-3. Neighborhood entries typically occur at the intersection of Eagle Glen Parkway and a collector street. Where possible, these entries will occur in a symmetrical configuration on both sides of the entry roadway. A typical neighborhood entry is depicted on Exhibit 5-6.

A pedestrian arbor flanks each side of these entries creating a clear sense of arrival into the neighborhood. The pedestrian arbors typically include neighborhood identification signage, as shown on Exhibit 5-5. Neighborhood entries are further characterized by the location of the community theme wall. The wall is back from the corner as shown on Exhibit 5-6 and also features groupings of evergreen theme trees.



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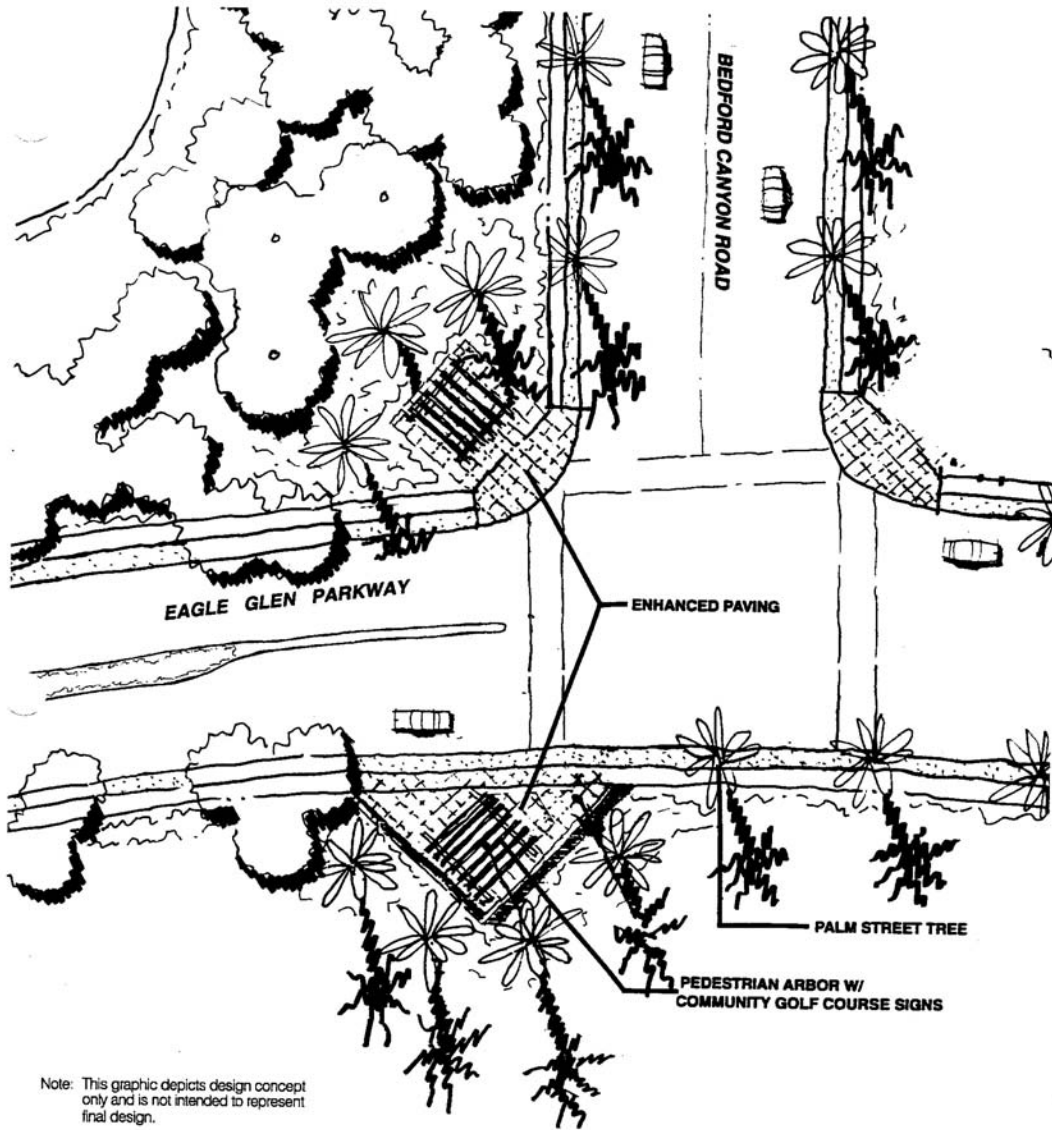
SPECIFIC PLAN AMENDMENT

Eagle Glen

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 CORONA COUNTRY CLUB ESTATES, L.L.C.
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EXHIBIT 5-3
 LANDSCAPE CONCEPT

Not to Scale
 FORMA
 JUNE 2001
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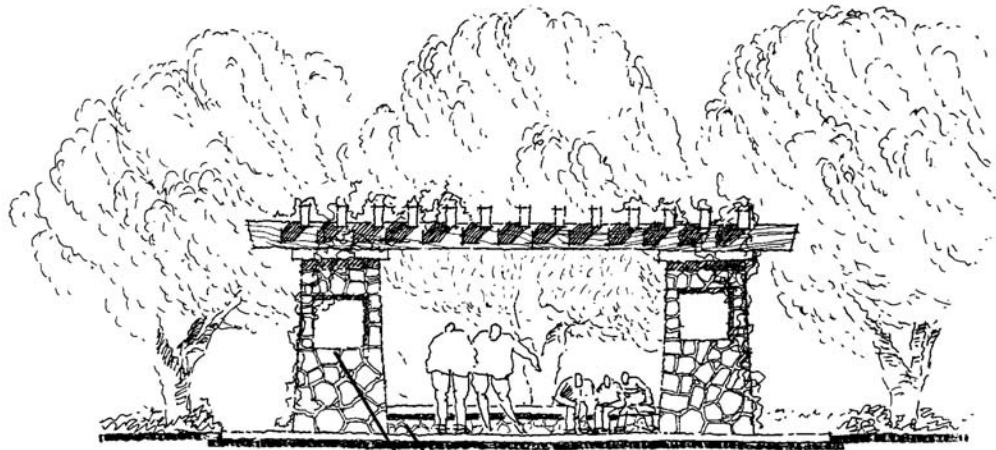
SPECIFIC PLAN

Eagle Glen

**EXHIBIT 5-4
MAJOR ENTRY**

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LOW SEAT WALL

PEDESTRIAN ARBOR WITH POSSIBLE
COMMUNITY/ GOLF COURSE SIGNAGE

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Eagle Glen

City of Corona, California

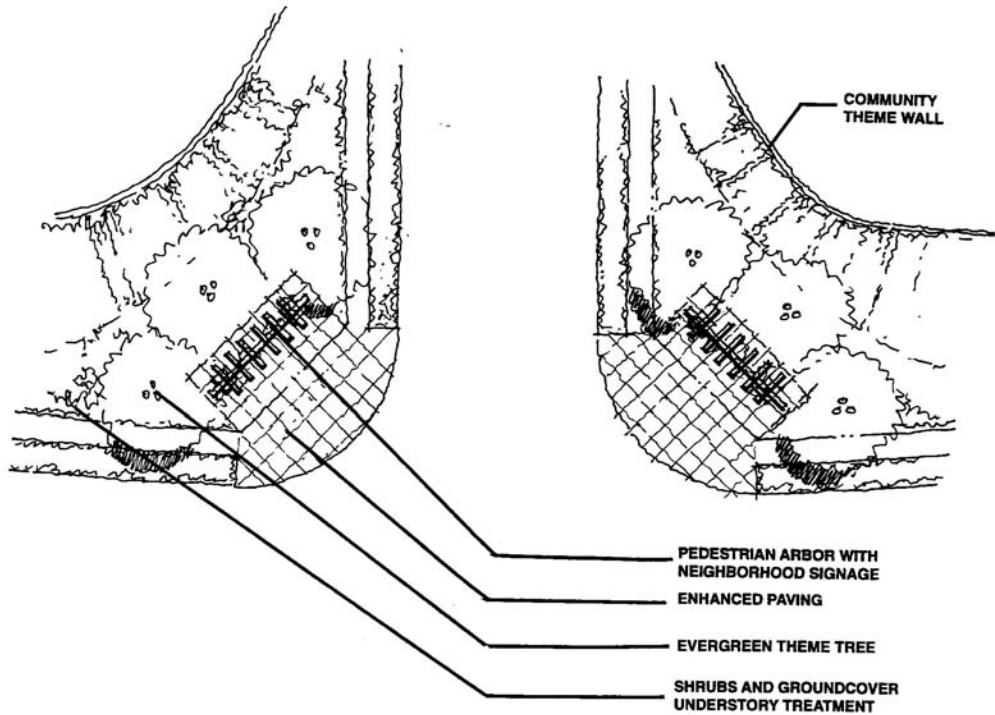
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EXHIBIT 5-5

PEDESTRIAN ARBOR

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**EXHIBIT 5-6
NEIGHBORHOOD ENTRY**

N.T.S.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.4.3 STREETScape DESIGN

Nine different streetscape conditions occur within the Eagle Glen vehicular circulation system. The locations of each streetscape condition are illustrated by Exhibit 5-7, Streetscape Key Map. The individual streetscape concepts and associated roadway classifications are described in the following subsections.

1. Streetscape 1 - Bedford Canyon Road

Bedford Canyon Road provides the seam necessary to unify the commercial center with the residential community. Within Eagle Glen, Bedford Canyon Road is designated a secondary arterial with an improved right-of-way width of 90 feet. As shown on Exhibit 5-8, Streetscape 1, Bedford Canyon Road forms a unifying landscape edge for the commercial center to the east and the landscaped slopes for the Low Density Residential District (SF-2) to the west. The seven-foot landscape strips within the thirteen-foot parkways on both sides of the street will receive formal palm tree plantings, located approximately 40 feet on center. These community accent trees will direct motorists and pedestrians to the community entry and form a landscape connection between the commercial and residential areas along the street. The residential slopes will be planted as described in Section 5.4.4.

2. Streetscape 2 - Eagle Glen Parkway - Transitional (76' - 104' ROW)

The off-site segment of Eagle Glen Parkway located between the I-15/Cajalco Road Interchange and Bedford Canyon Road is described by Streetscape 2. As shown on Exhibit 5-9, the paved section, which begins as a 52-foot section at the freeway interchange and transitions to 80 feet at Bedford Canyon Road, is flanked on each side by twelve-foot parkways which include five-foot-wide sidewalks. Landscape plans for all slopes, parkways, and entry treatment at intersection with Bedford Canyon Road shall be submitted at time of Master Tentative Tract Map.

3. Streetscape 3 - Eagle Glen Parkway (88' ROW)

Beginning at Bedford Canyon Road, Eagle Glen Parkway provides the beginning of a unifying link which brings the rural landscape theme into the community. The Streetscape 3 condition is illustrated by Exhibit 5-10. The 88-foot Secondary Arterial right-of-way will be divided by a 12-foot wide landscaped median and will include a six-foot meandering pedestrian trail on the southeasterly side of the street. Beginning at Bedford Canyon Road, the trail extends through the open space area and will provide pedestrians with views of Bedford Canyon Wash and the golf course. The minimum width between the curb face and the concrete meandering trail is seven feet, except in areas where maintenance vehicle turn-outs are provided. A portion of the trail will be located outside the right-of-way.

SECTION 5: COMMUNITY DESIGN GUIDELINES

A five-foot sidewalk will be located behind the seven-foot landscaped parkway on the west side of the roadway. Beyond the sidewalk, required landscape slopes extend upward to the community theme wall located along the rear yards of the SF-2 residential lots.

After passing the first collector street intersection, Eagle Glen Parkway transitions to an 82-foot roadway.

4. Streetscape 4 - Eagle Glen Parkway (82' ROW)

The segment of Eagle Glen Parkway beginning just south of the first collector street and extending just past the sports park collector street will have a right-of-way width of 82 feet. This section permits adequate width to provide turn lanes for the intersections and maintenance turnouts. The six-foot pedestrian trail continues along the southeasterly side of the roadway for this segment of the parkway to the sports park collector street, where it crosses to the north side of the street, adjacent to the sports park. A portion of the trail may extend outside the right-of-way. Streetscape 4 is shown on Exhibit 5-11.

5. Streetscape S - Eagle Glen Parkway (72' ROW)

Streetscape 5 describes the portion of Eagle Glen Parkway beginning at the sports parks and extending to the collector street which is located on the south side of the school site. Within the 72-foot right-of-way, the paved section is flanked to the south by a twelve-foot parkway which includes a five-foot-wide sidewalk. This side of the street is adjacent to the SF-2 neighborhood where the community theme wall will be separated from the sidewalk by a minimum ten-foot landscape area.

On the north side of the street, the six-foot pedestrian trail is divided from the roadway by a seven-foot landscaped parkway, except in areas where maintenance vehicle turn-outs are provided. A portion of the trail is located outside the public right-of-way. Streetscape 5 is illustrated by Exhibit 5-12a.

6. Streetscape 5A - Eagle Glen Parkway (72' ROW)

Streetscape 5 describes the portion of Eagle Glen Parkway between the sports parks. Within the 72-foot right-of-way, the paved section is flanked to the south by a twenty-foot parkway which includes a six-foot-wide meandering sidewalk. This side of the street is adjacent to the SF-2 neighborhood where the community theme wall will be separated from the sidewalk by a minimum ten-foot landscape area.

On the north side of the street, the six-foot pedestrian trail is divided from the roadway by a seven-foot landscaped parkway, except in areas where maintenance vehicle turn-outs are provided. A portion of the trail is located outside the public right-of-way. Streetscape 5A is illustrated by Exhibit 5-12b.

SECTION 5: COMMUNITY DESIGN GUIDELINES

7. Streetscape 6 - Collector Street

The collector streets continue the rural landscape theme established by Eagle Glen Parkway. These streets are typically bordered by community theme walls within residential neighborhoods. The 68-foot right-of-way streets are shown on Exhibit 5-13. Seven-foot parkways and five-foot sidewalks border both sides of the 44-foot paved sections. Where the pedestrian trail is located on one side of a collector street, the parkway will consist of a seven-foot landscape strip and six-foot-wide concrete pedestrian trail. Minimum ten-foot landscaped areas are required between pedestrian ways and community theme walls.

8. Streetscape 7 - Local Street

The local streets create unified neighborhood landscape themes. Each street is planted continuously with uniform tree species that are related to the overall community theme. The typical local residential street condition is depicted by Exhibit 5-14. The 64-foot right-of-way consists of a 40-foot paved way, with eight-foot landscaped parkways and four-foot sidewalks on both sides of the street. The parkways will feature evergreen canopy trees located 30-feet on center.

9. Streetscape 8 - Golf Course Entry

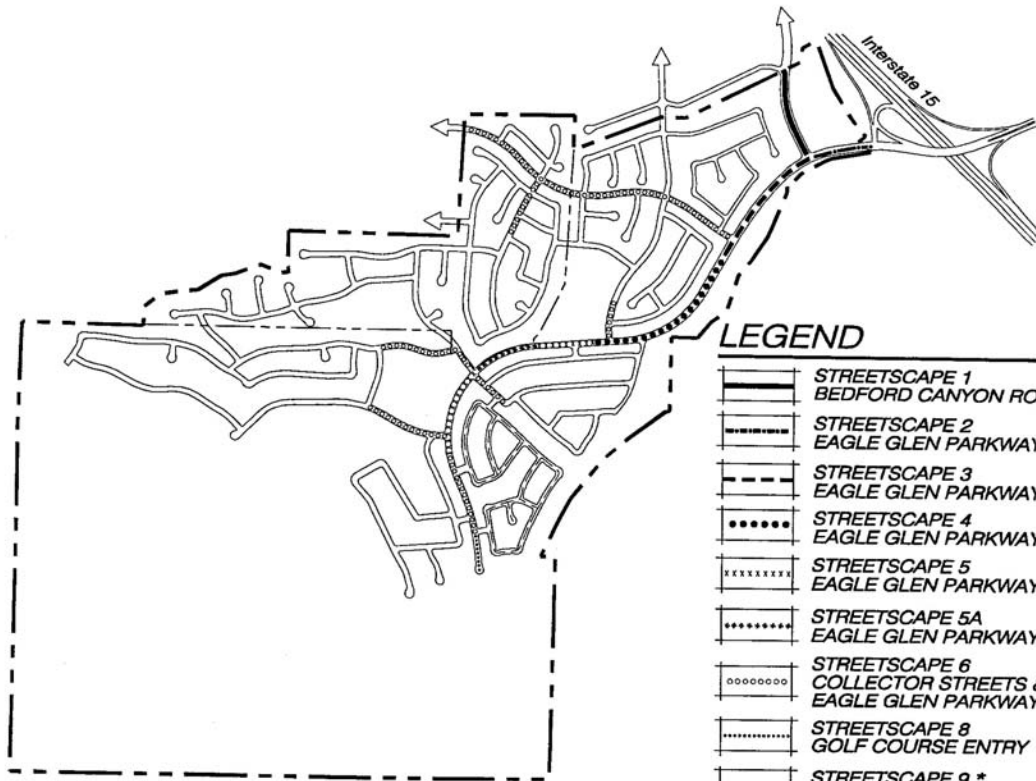
The golf course entry street provides a distinctive entry experience set within the overall rural community landscape theme. Formal palm trees are once again incorporated into the parkways along the private golf course entry street. The palm trees signify the golf course entrance. The 64-foot right-of-way includes a 40-foot paved section with twelve-foot parkways which include four-foot sidewalks and eight-foot landscape strips on both sides of the street. Required minimum ten-foot landscaped slope areas are located between the sidewalks and community theme walls on both sides of the street. The golf course streetscape is illustrated by Exhibit 5-15.

10. Streetscape 9 - Private Residential Street

Similar to the local streets described by Streetscape 7 above, private residential streets create unified neighborhood landscape themes. Each private street is planted continuously with uniform tree species that are related to the overall community theme. The typical private street condition is shown on Exhibit 5-16. The 60-foot right-of-way consists of a 40-foot paved way, with six-foot landscaped parkways and four-foot sidewalks on both sides of the street. The parkways will feature evergreen canopy trees selected from Table 8 of this section. At neighborhood entries, the right-of-way shall be widened to 80 feet to accommodate a 20-foot median.

11. Special Requirements

All public rights-of-way and required landscape areas shall be maintained by the Community Facilities Maintenance District or homeowners association. All manufactured slopes which are required landscape areas shall not exceed 2:1 in slope gradient and meet the Park and Recreation Department landscape maintenance district guidelines.



LEGEND

- STREETScape 1
BEDFORD CANYON ROAD
- STREETScape 2
EAGLE GLEN PARKWAY, TRANSITIONAL
- STREETScape 3
EAGLE GLEN PARKWAY
- STREETScape 4
EAGLE GLEN PARKWAY
- STREETScape 5
EAGLE GLEN PARKWAY
- STREETScape 5A
EAGLE GLEN PARKWAY
- STREETScape 6
COLLECTOR STREETS &
EAGLE GLEN PARKWAY
- STREETScape 8
GOLF COURSE ENTRY
- STREETScape 9 *
PRIVATE RESIDENTIAL STREET

ALL OTHER STREETS BASED ON
STREETScape 7, LOCAL STREET *

**EXHIBIT 5-7
STREETScape KEY MAP**

SPECIFIC PLAN AMENDMENT

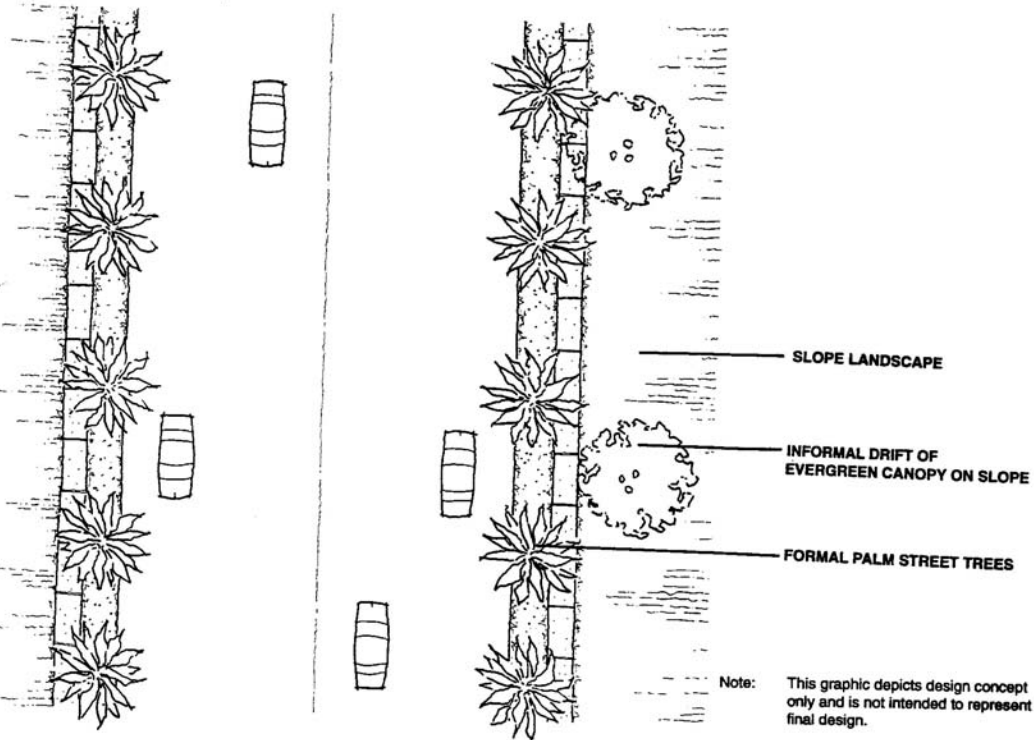
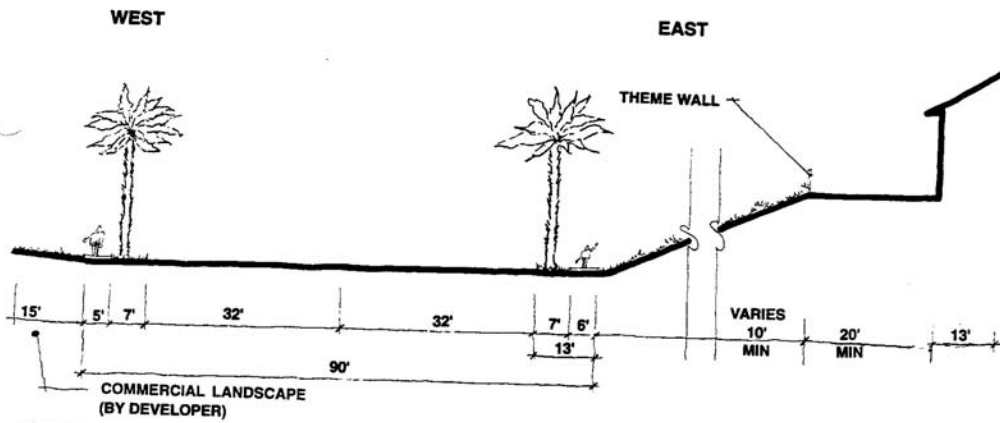
Eagle Glen

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* The configuration of local and private streets are illustrative only. These streets are subject to subdivision map approval.





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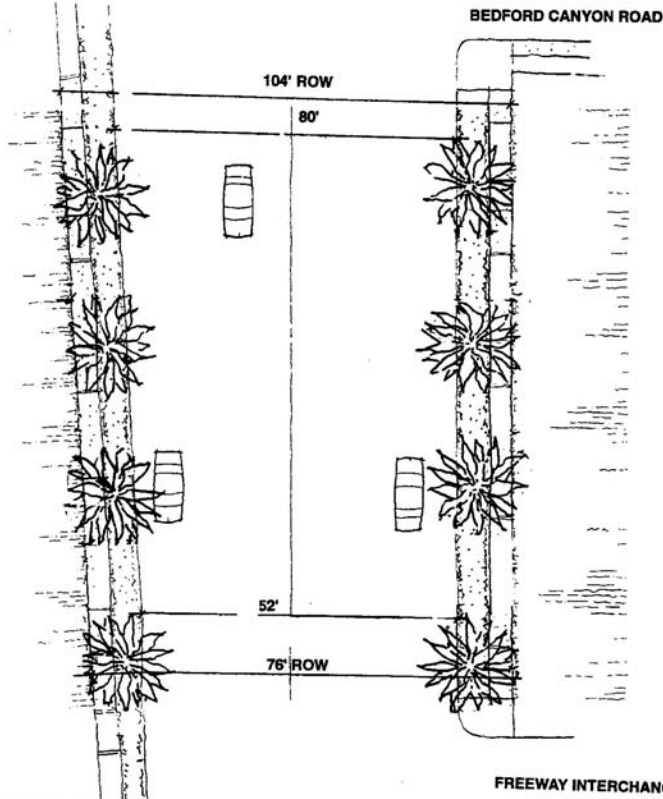
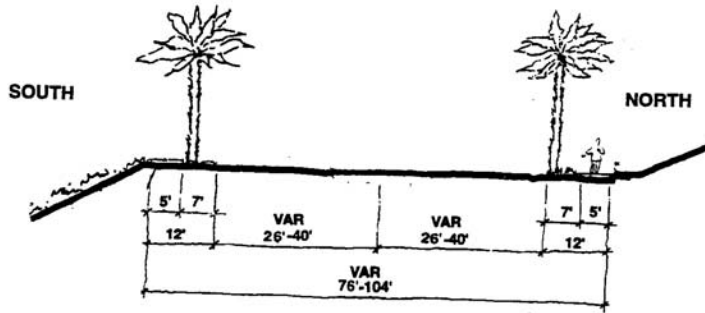
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EXHIBIT 5-8

STREETSCAPE 1

BEDFORD CANYON ROAD

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FREEWAY INTERCHANGE

EXHIBIT 5-9

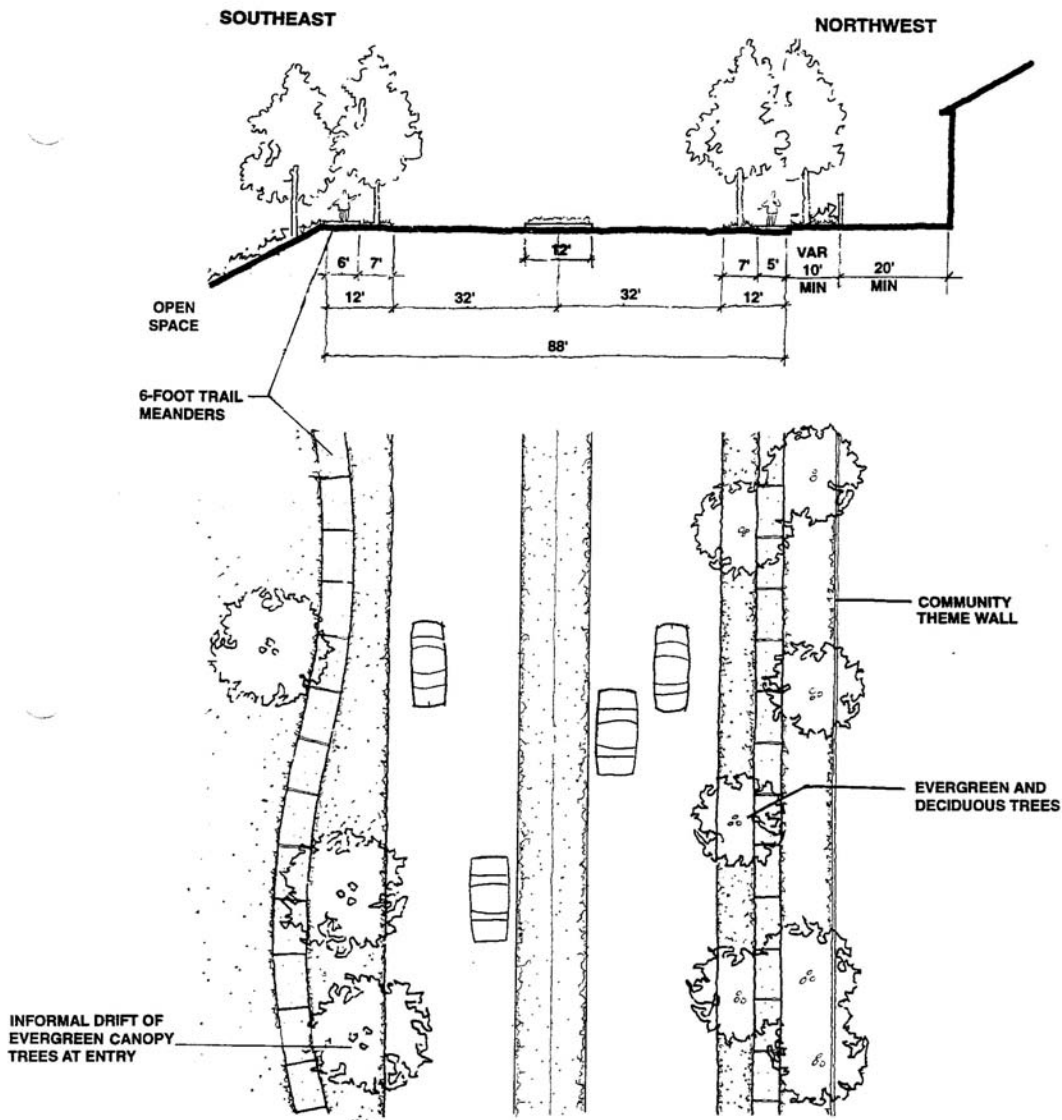
STREETSCAPE 2

EAGLE GLEN PARKWAY-

TRANSITIONAL

I-15 INTERCHANGE TO BEDFORD CANYON ROAD

N.T.S.



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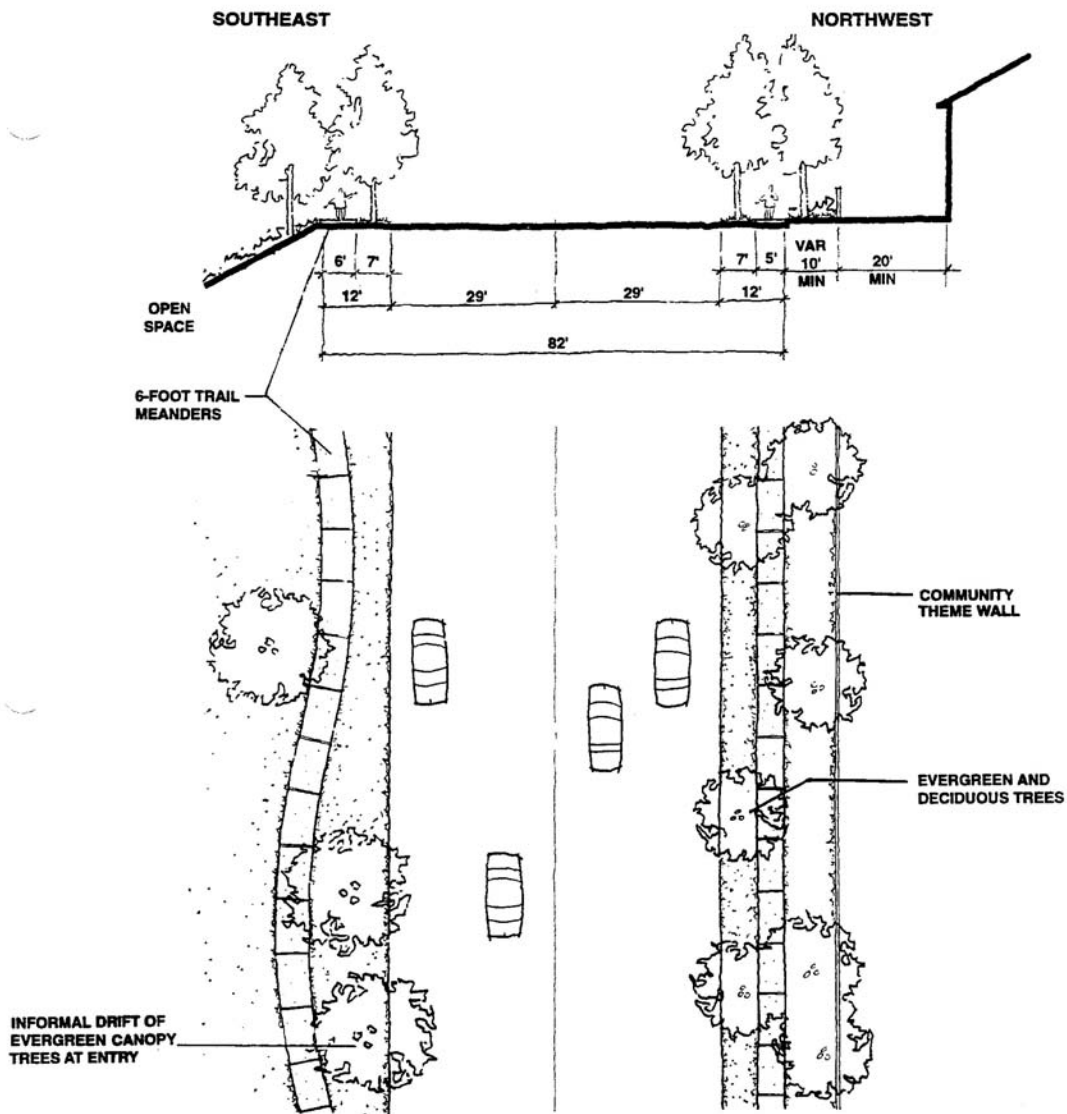
EXHIBIT 5-10

STREETSCAPE 3

EAGLE GLEN PARKWAY

BEDFORD CANYON ROAD TO FIRST COLLECTOR STREET

N.T.S.



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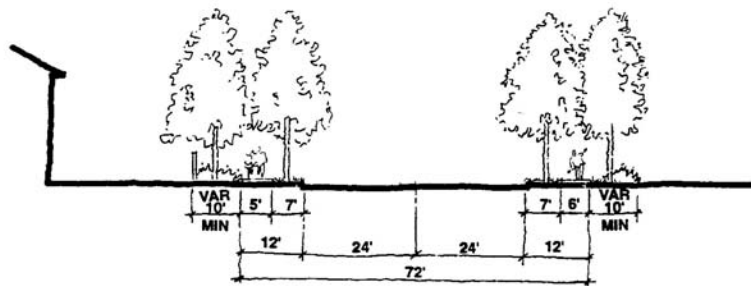
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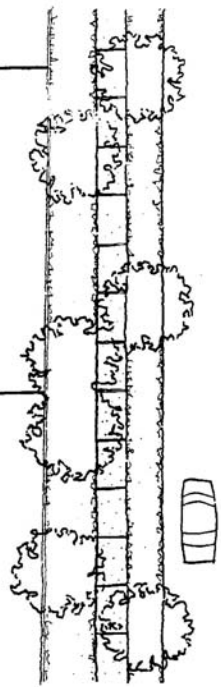
**EXHIBIT 5-11
STREETSCAPE 4
EAGLE GLEN PARKWAY
FIRST COLLECTOR STREET SOUTH
TO SECOND COLLECTOR STREET**

N.T.S.

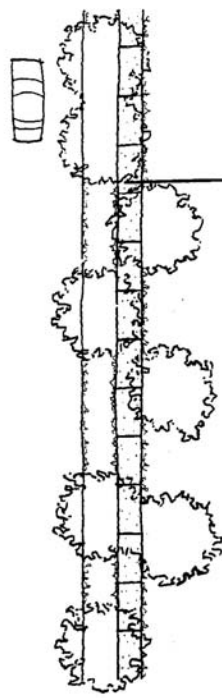


COMMUNITY
THEME WALL

DRIFT OF EVERGREEN
AND DECIDUOUS TREES



6-FOOT TRAIL



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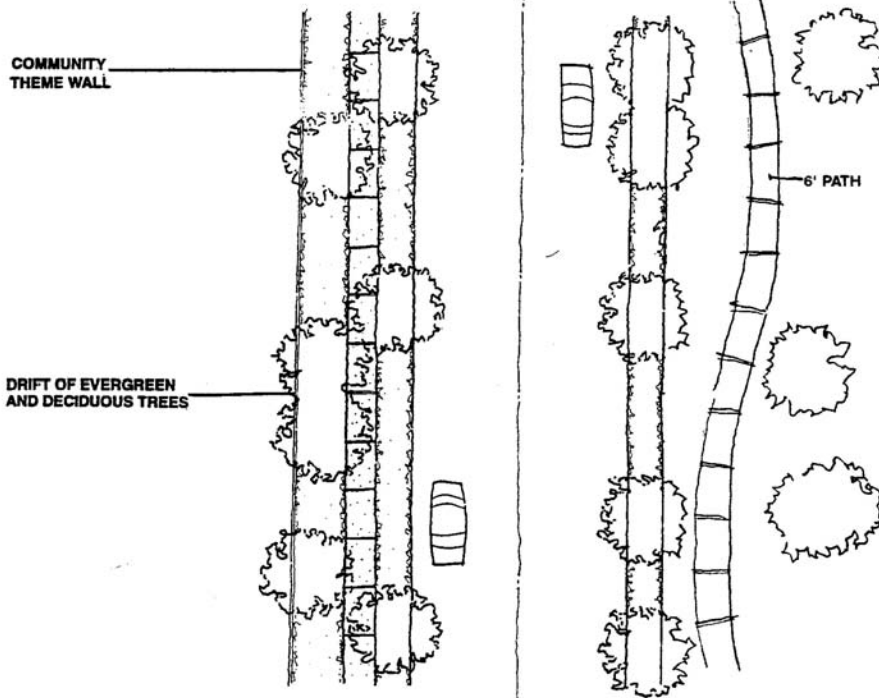
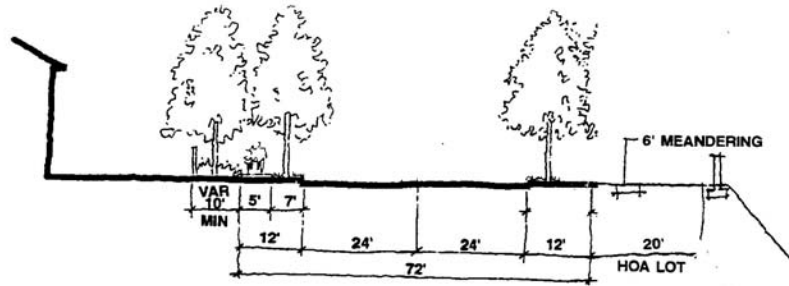
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EXHIBIT 5-12a
STREETSCAPE 5
EAGLE GLEN PARKWAY
SECOND COLLECTOR STREET SOUTH
TO FOURTH COLLECTOR STREET

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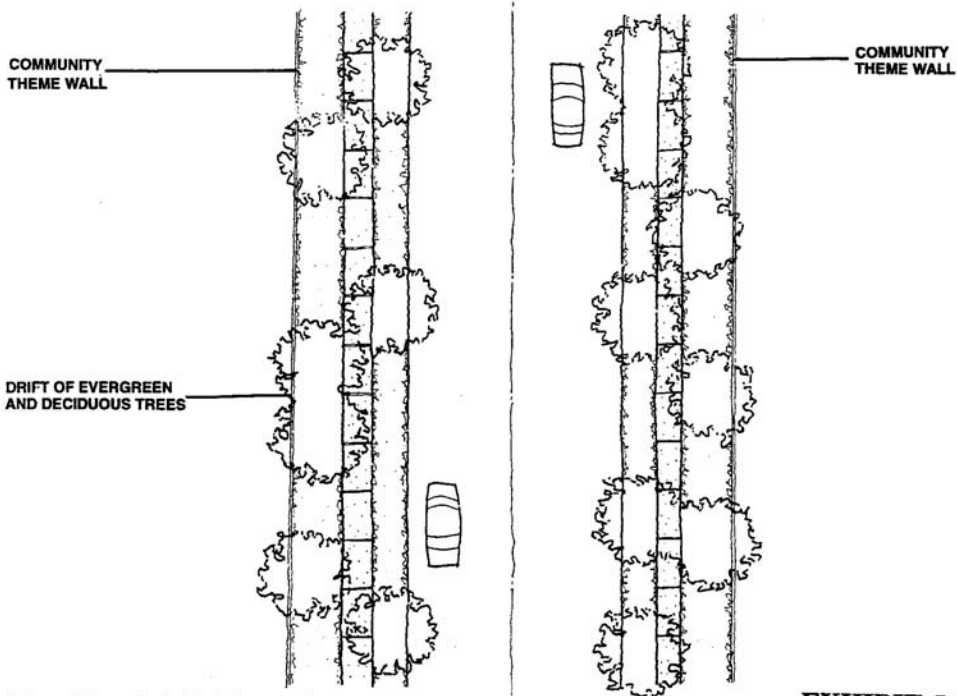
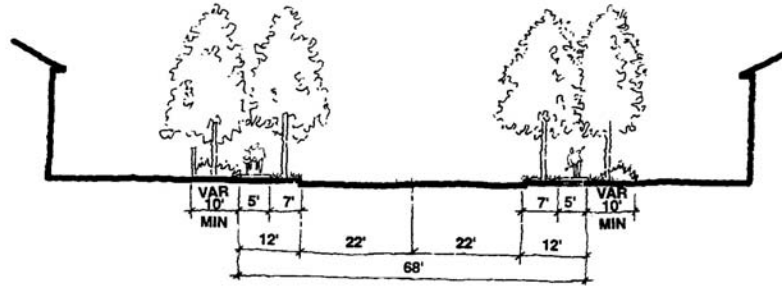
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**EXHIBIT 5-12b
STREETSCAPE 5A
EAGLE GLEN PARKWAY**

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**EXHIBIT 5-13
STREETSCAPE 6**

**COLLECTOR STREETS
AND EAGLE GLEN PARKWAY**

FOURTH COLLECTOR STREET SOUTH TO LAST INTERSECTION

SPECIFIC PLAN

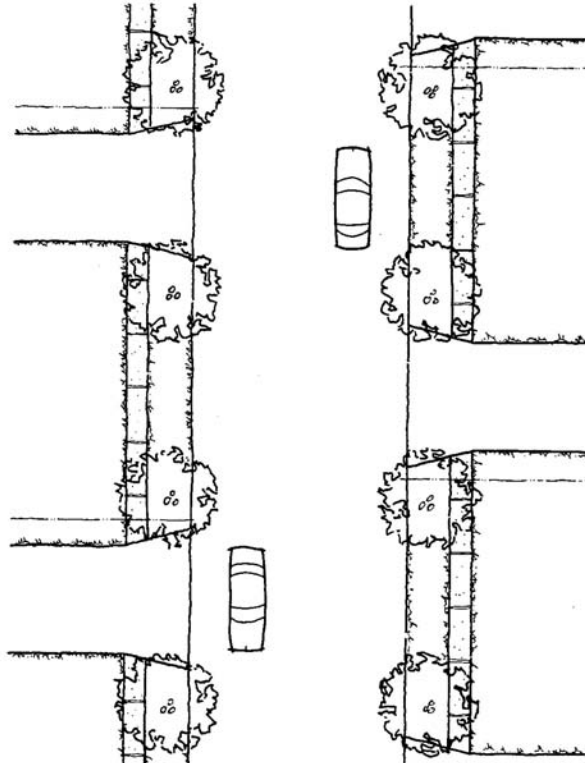
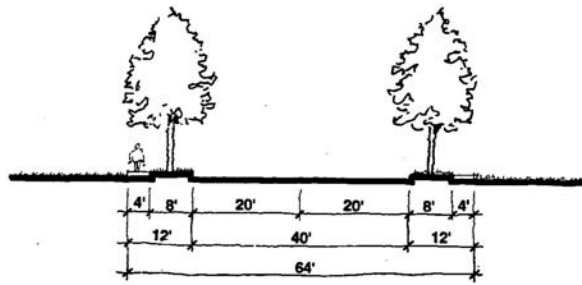
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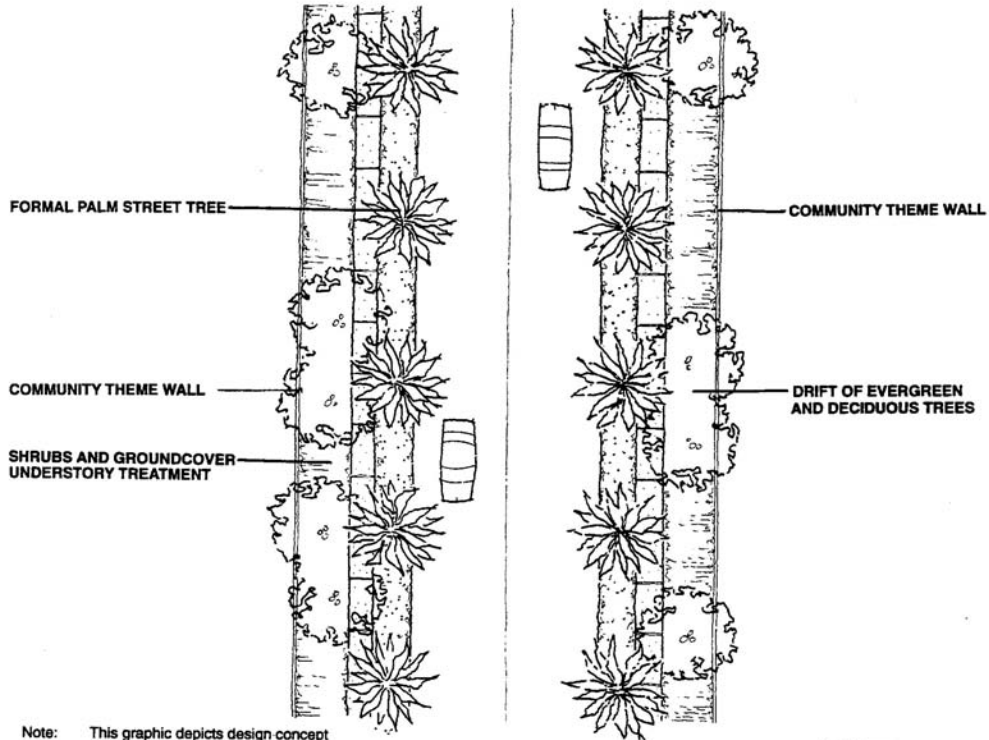
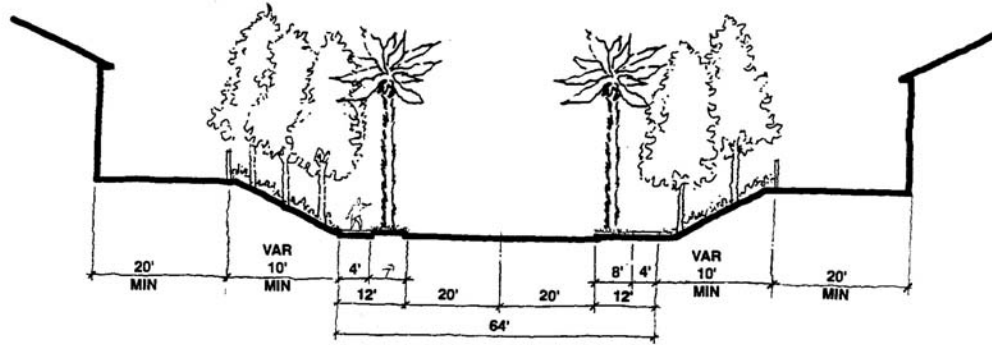
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**EXHIBIT 5-14
STREETSCAPE 7
LOCAL STREET**

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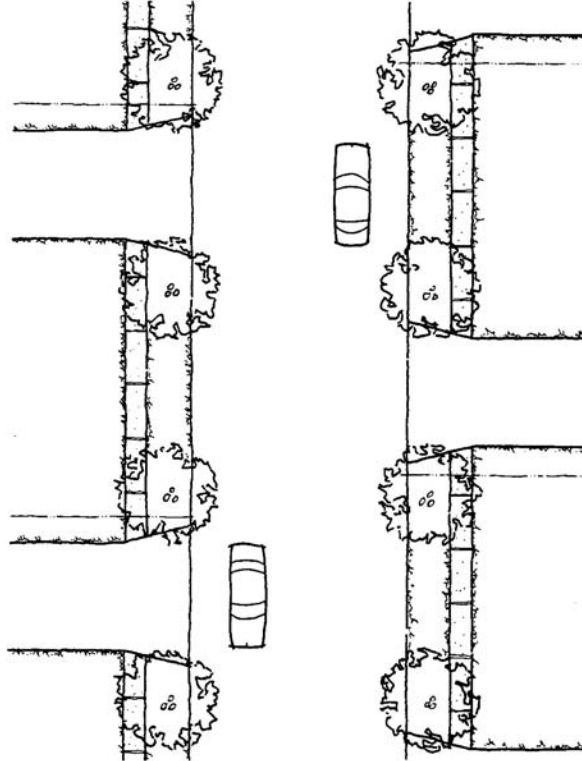
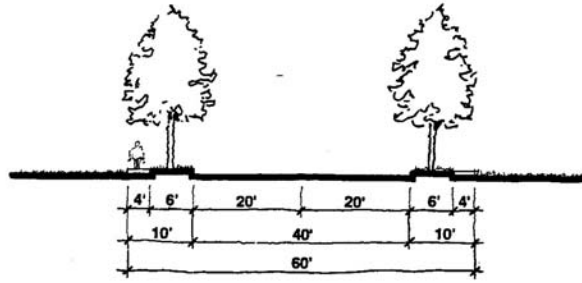
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**EXHIBIT 5-15
STREETSCAPE 8**

GOLF COURSE ENTRY
EAGLE GLEN PARKWAY, LAST INTERSECTION
SOUTH TO GOLF COURSE ENTRANCE

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City of Corona, California

CORONA COUNTRY CLUB ESTATES, L.L.C.

10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 5-16

STREETSCAPE 9

PRIVATE RESIDENTIAL STREET

N.T.S.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.4.4 SLOPE TREATMENTS

The slope treatments are drawn from the surrounding landscape character of the native hillsides adjacent to the site. These slopes are intended to “blend” into this surrounding context. The slope planting will create an informal landscape theme. Plant material should be selected to coordinate in color and texture. The major slope areas will be planted with material of varying heights and character in order to provide a layering effect. Side yard slopes will be planted with a less extensive plant palette. Important views are framed with trees, while less attractive views are screened.

Slope stabilization and erosion control are the primary concerns of manufactured slope areas. The following are design requirements that will be addressed during detailed design development.

- All graded and compacted slopes over 4 feet in height with slopes between one and one-half horizontal to one vertical and four horizontal to one vertical shall be planted prior to final inspection.
- Groundcovers shall be provided through either hydroseed or plantings from cuttings.
- Water conserving plants shall be utilized where feasible.
- All slopes (private interior or common) shall be designed and planted to the City’s Landscape Maintenance District standards.
- All replanted natural slopes shall conform to the Fuel Modification requirements described in Section 5.5.

5.4.5 WALLS AND FENCES

The wall and fence system of Eagle Glen creates a distinctive character reminiscent of refined, well-established communities throughout southern California. These walls reinforce the community architectural character. Continuity of materials and details provide a cohesive architectural theme throughout the community. All wall and fence materials, textures, and colors should be selected to complement the design style of the community architectural theme and shall be approved by the Planning Director at the time of Precise Plan. The locations of project theme walls and fences are shown on Exhibit 5-17 and described below.

Theme Wall The community theme wall creates a distinctive rural theme that is incorporated into the community entry monumentation and is also used to define neighborhood edges. The community theme wall is located on rear and side property boundaries along Eagle Glen Parkway and collector streets, and between different land uses. The wall consists of pre-cast concrete with a height of five feet-six inches, including concrete cap. The community theme wall includes pilasters with concrete caps, having a maximum height of six feet. An example of the theme wall is shown on Exhibit 5-18. Alternative materials to meet the standards may be approved by the Planning Director.

SECTION 5: COMMUNITY DESIGN GUIDELINES

Theme View Fence Open community theme view fencing will consist of wrought iron or tubular steel with concrete pilasters in the community theme or masonry block pilasters. Open fencing is typically utilized on hillside slopes and in rear yards where view preservation is desirable. This feature consists of a five-foot, six-inch fence with six-foot pilasters located at property corners, and other significant points. A section of theme view fencing is shown on Exhibit 5-18. View fencing adjacent to arterial streets shall meet noise attenuation standards as identified in a noise study performed at the time of subdivision map. Tempered glass or plexiglass fencing as shown on Exhibit 5-18 may be allowed where sound attenuation is required, upon the approval of the Planning Director.

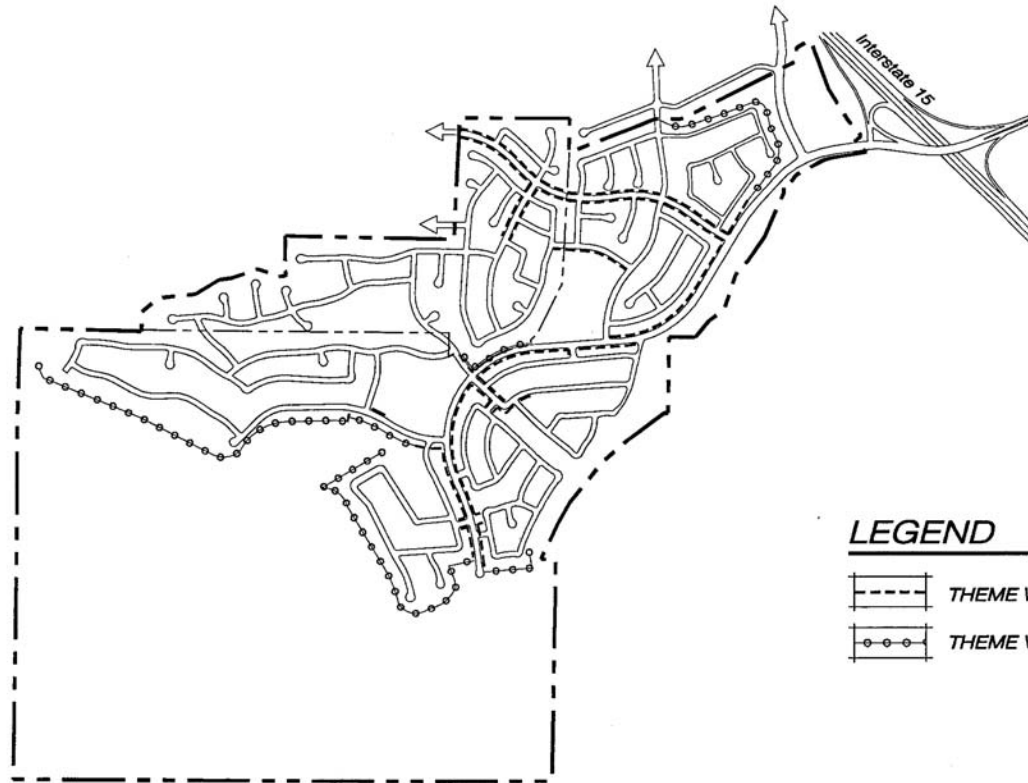
Neighborhood Walls and Fences Within residential neighborhoods, a variety of wall and fence styles are available. Side and rear yard privacy walls may be of pre-cast concrete, decorative block and cap, masonry block with stucco finish and concrete cap, split-face or slump stone, or painted wood. Per Corona Municipal Code Section 17.70, wood fencing may only be utilized in side or rear yards when not adjacent to streets, common slopes, or parks. The overall wall height shall not exceed six feet.

Perimeter Fencing Perimeter walls or fences shall be required for all residential developments, with design and materials to be approved by the Planning Director at the time of Precise Plan. Also, to prevent intrusion into the adjacent grove area, perimeter fencing shall be required at the toe of the natural slope on the southeast boundary. Such perimeter fencing next to the agricultural areas may be chain-link, at a height no less than 6 feet.



5.4.6 LIGHTING

The community lighting system shall be designed and located in a manner which is compatible with the rural character of the area. The community lighting system shall adequately illuminate and provide for the safety of vehicular and pedestrian movement. Landscape lighting shall be unobtrusive, and shielded to prevent glare.

Lighting which highlights architectural or landscape features shall be permitted. Such lighting should be designed so that it does not fall on adjacent properties. Entry monument lighting will be limited to low-level lights designed to highlight the monuments and make the project names readable.



LEGEND

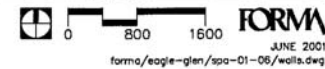
-  **THEME WALL**
-  **THEME VIEW FENCE**

SPECIFIC PLAN AMENDMENT

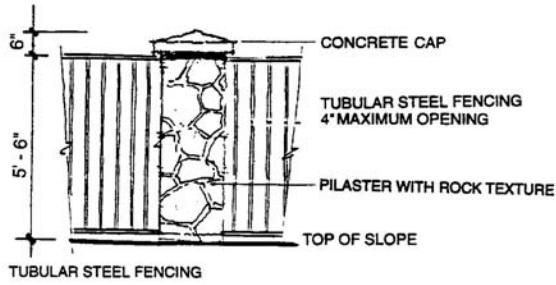
Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.
 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

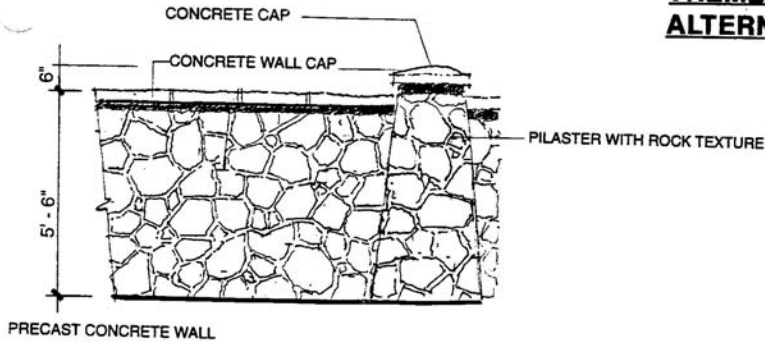
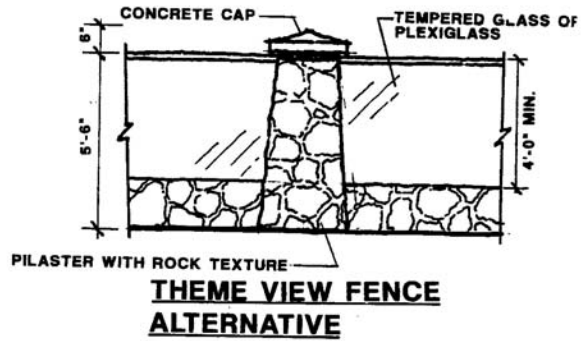
EXHIBIT 5-17
THEME WALL/FENCE PLAN



forma/eagle-glen/spa-01-06/walls.dwg



THEME VIEW FENCE



THEME WALL

SPECIFIC PLAN

Eagle Glen

City of Corona, California

CORONA COUNTRY CLUB ESTATES, L.L.C.

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**EXHIBIT 5-18
WALL DESIGNS**

N.T.S.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.4.7 LANDSCAPE PLANT PALETTE

The following plant list outlines the plant materials necessary to reinforce the rural landscape theme described above. This list provides the species to be utilized for the selection of plant materials for entry statements, streetscapes, and slopes.

**TABLE 8
LANDSCAPE PLANT PALETTE
FOR RIGHTS OF WAY AND COMMON AREAS**

TREES - EVERGREEN

<u>Botanical Name</u>	<u>Common Name</u>
Acacia bowline	Bailey Acacia
Ceratonia siliqua	Carob
Eucalyptus citriodora	Lemon Scented Gum
Eucalyptus polyanthemos	Silver Dollar Gum
Eucalyptus sideroxylon "Rosea"	Red Iron Bark
Eucalyptus viminalis	White Gum
Magnolia grandiflora	Southern Magnolia
Olea europaea "fruitless"	Fruitless Olive
Pinus canariensis	Canary Island Pine
Pinus eldarica "Mondell"	Mondell Pine
Pinus halepensis	Aleppo Pine
Podocarpus gracilior	Fern Pine
Quercus agrifolia	California Live Oak
Rhus lancea	African Sumac
Schinus molle	California Pepper
Ulmus parvifolia "Drake"	Evergreen Elm

SECTION 5: COMMUNITY DESIGN GUIDELINES

TREES - DECIDUOUS

Botanical Name

Albizia julibrissin
Alnus rhombifolia
Bauhinia variegata
Cercis occidentalis
Gleditsia triacanthos
Jacaranda acutifolia
Platanus acerifolia
Platanus racemosa

Common Name

Mimosa Tree
White Alder
Purple Orchid Tree
Redbud
Honey Locust
Jacaranda
London Plane Tree
California Sycamore

PALMS

Botanical Name

Phoenix canariensis
Phoenix dactylifera
Washingtonia robusta

Common Name

Canary Island Date Palm
Date Palm
Mexican Fan Palm

SHRUBS

Botanical Name

Abelia grandiflora
Acacia redolens
Agave americana
Agave attenuata
Aloe species
Arctostaphylos species
Atriplex semibaccata
Baccharis pilularis
Callistemon citrinus
Ceanothus species
Dendromecon rigida
Cistus species
Cocculus laurifolius
Coprosma kirkii
Cotoneaster species
Cordyline australis
Echium fastuosum
Eleagnus pungens

Common Name

Edward Goucher Abelia "Edward Goucher"
NCN Agapanthus africanus Lily of the Nile
Century Plant
NCN
NCN
Manzanita
Creeping Saltbush
Coyote bush
Lemon Bottlebrush
California Lilac
Bush Poppy
Rockrose
Snailseed
Creeping coprosma
Cotoneaster
Cordyline
Pride of Madiera
Silver Berry

SECTION 5: COMMUNITY DESIGN GUIDELINES

Fremontia californicum	California fremontia
“California Glory”	
Grevillea “Canberra”	Grevillea
Hebe coed	Veronica
Hemerocallis species	Day Lily
Heteromeles arbutifolia	Toyon
Hibiscus rosa-sinensis	Chinese hibiscus
Ilex species	Holly
Juniperus spp.	Juniper
Kniphofia uvaria	Red Hot Poker
Lavatera assurgentiflora	Tree Mallow
Mahonia nevinii	Nevin Mahonia
Mimulus cardinalis	Monkey Flower
Moraea bicolor	Fortnight Lily
Myoporum parvifolium	Myoporum
Myrtus communis	True Myrtle
Nerium oleander var.	Oleander
Penstemon species	Beard Tongue
Phormium tenax	Flax
Photinia fraseri	Photinia
Pittosporum tobira	Mock Orange “Wheelers Dwarf”
Plumbago capensis	Cape Plumbago
Pyracantha “Santa Cruz”	Pyracantha
Raphiolepis indica	Pink Indian Hawthorne “Springtime”
Rhamnus alaternus	Italian Buckthorn
Rhus integrifolia	Lemonade Berry
Rhus ovata	Sugar Bush
Ribes sanguineum	Pink Winter Current
Rosmarinus officinalis “Prostrate”	Rosemary
Santolina species	Santolina
Xylosma congestum	NCN

VINES

Botanical Name

Ficus pumila
Jasminum polyanthum
Lonicera japonica
Pathenocissus tricuspidata

Common Name

Creeping Fig
Pink Jasmine
Japanese Honeysuckle
Bosom Ivy

SECTION 5: COMMUNITY DESIGN GUIDELINES

GROUND COVERS

Acacia redolens “Prostrata”	Ungerup Acacia (plant with a nurse crop)
Baccharis pilularis “Twin Peaks”	Coyote Bush
Ceanothus griseus horizontalis	Carmel Creeper (plant with a nurse crop)
Duchesnea indica	Indian Mock Strawberry
Gazania species “Mitsuwa Yellow”	Gazania “Mitsuwa Yellow”
Rosmarinus officinalis “Prostrate”	Rosemary (plant with a nurse crop)
Vinca major and minor	Periwinkle

PROPOSED INTERIOR STREET AND FEATURE TREES

Evergreen

Cedrus deodara	Deodar Cedar
Cinnamomum camphora	Camphor Tree
Cupaniopsis anacardioides	Carrot Wood
Eucalyptus sideroxylon	Red Iron Bark “Rosea”
Magnolia grandiflora	Southern Magnolia
Pinus canariensis	Canary Island Pine
Pinus halepensis	Aleppo Pine
Podocarpus gracilior	Fern Pine
Quercus ilex	Holly Oak
Schinus terebinthi folius	Brazilian Pepper
Tristania conferta	Brisbane Box
Ulmus parviflora “Drake”	Evergreen Elm

Deciduous

Gleditsia triacanthos Honey Locust	
Lagerstroemia indica	Crape Myrtle
Liriodendron tulipifera	Tulip Tree
Jacaranda acutifolia Jacaranda	
Platanus acerifolia “Bloodgood”	London Plane Tree

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.5 FUEL MODIFICATION

The principal goal of the Fuel Management Program is to protect homes in Eagle Glen from the hazards of wildfires. The program has been designed to provide a smooth visual transition from the undisturbed natural vegetation to the homeowner's backyard landscape. The Fuel Modification Program described here sets out the general concepts and patterns for the Eagle Glen Specific Plan area. A Final Fuel Modification Zone Plan (FMZP) shall be approved by the Fire Chief for any area shown on the Fuel Modification Plan, Exhibit 5-19 or buildings adjacent to any natural open space area, prior to the approval of the final map for that affected area. Site specific fuel modification zone sizes shall be based on the approved FMZP and subject to approval by the Fire Chief.

Generally, fuel modification zones are managed strips of land consisting of irrigated zones and dry or thinning zones of varying width depending on local conditions. On natural slopes, existing high fire hazard vegetation is removed and replaced with appropriate plants from the fuel modification plant list. Existing acceptable vegetation is thinned and pruned to reduce fuel load. Manufactured slopes are planted with acceptable plants from the fuel modification plant list. Plants are selected based upon the existing adjacent condition. These plantings will provide a smooth visual transition from the undisturbed natural vegetation to the homeowner's landscape.

5.5.1 FUEL MODIFICATION ZONES

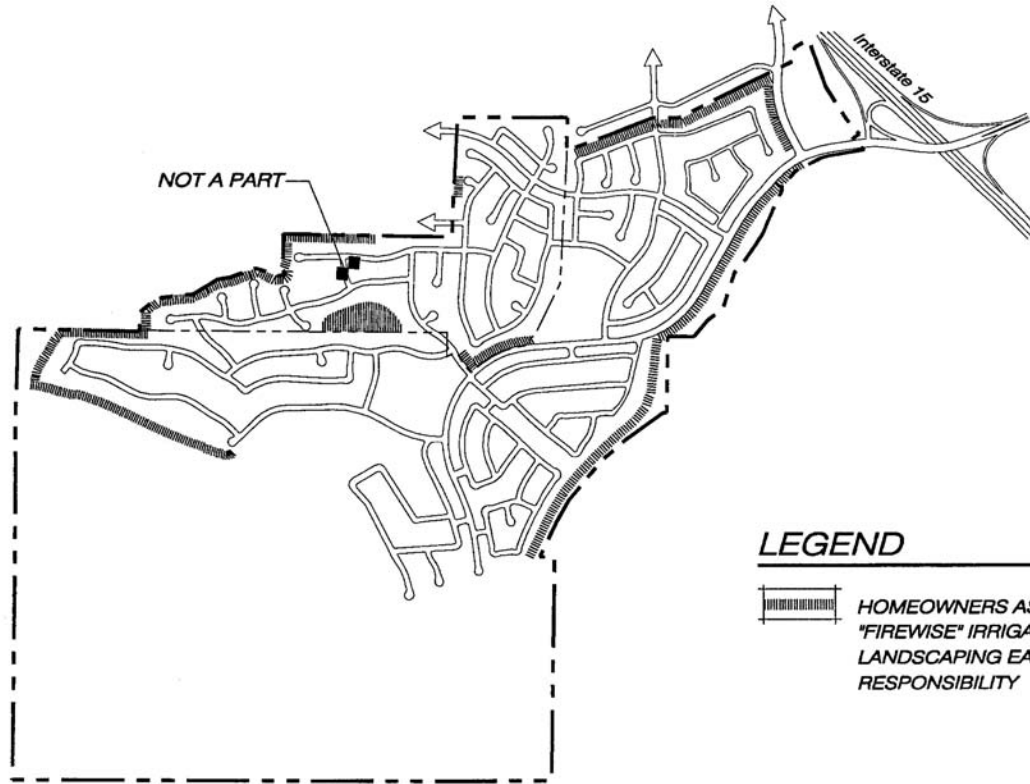
Two Fuel Modification Zones are identified and described by the Eagle Glen Fuel Modification Zone Plan. The two zones are illustrated on Exhibit 5-20, Fuel Modification Zones, and described as follows:

1. Fuel Modification Zone 1


Zone 1 is the first 30 feet around a structure. This landscape zone is usually irrigated and consists of fire resistant irrigated plantings less than 18 inches high. It may contain traditional trees or ornamental shrubs, ground covers, and lawn. Plants in this zone need to be the most fire-resistant, and should not include any pyrophytes that are high in oils and resins, such as pines, eucalyptus, cedar and juniper species. Trees must be planted so that when they reach maturity their branches are at least 10 feet away from any structure.

Thick succulent or leathery leaf species are the most fire resistant, while paper-thin leaves and small twiggy branches are the least retardant. Regular maintenance and continued irrigation is most important.

If water for irrigation is limited, use more of the available water in Zone 1 than in Zone 2. Plants with high moisture content are less likely to burn. Non-flammable patios, walkways, rock, and gravel mulch can be used as fuel breaks for these zones.



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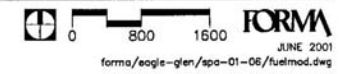
-  HOMEOWNERS ASSOCIATION "FIREWISE" IRRIGATED LANDSCAPING EASEMENT RESPONSIBILITY

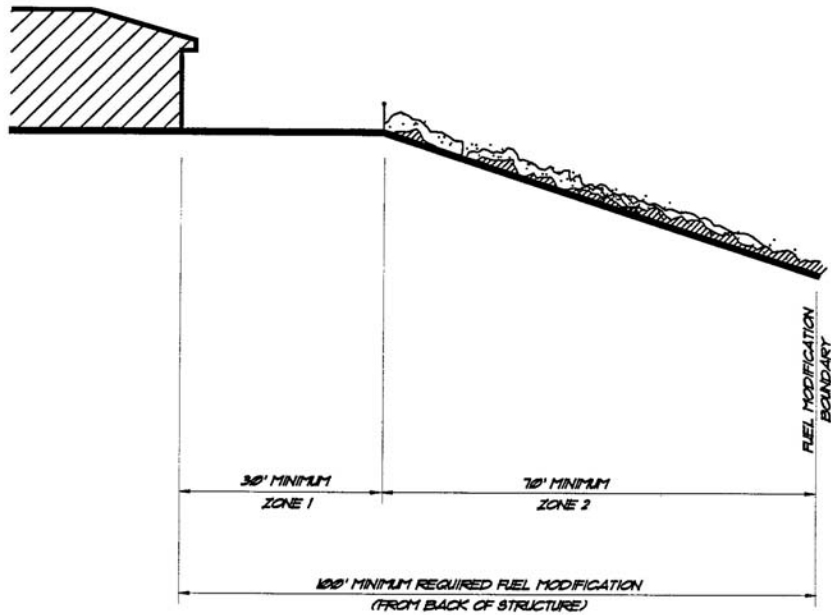
SPECIFIC PLAN AMENDMENT

Eagle Glen

City of Corona, California
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 10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 5-19
FUEL MODIFICATION





NOTES:

1. This graphic depicts design concept only and is not intended to represent final design.
2. Property line location is not shown on this exhibit.

SPECIFIC PLAN AMENDMENT CHANGE:
ADD NOTE '2'

SPECIFIC PLAN

Eagle Glen

EXHIBIT 5-20
FUEL MODIFICATION ZONES

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.

N.T.S.

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SECTION 5: COMMUNITY DESIGN GUIDELINES

2. Fuel Modification Zone 2

Zone 2 is the area 30-to-100 feet away from any structures or to the lot property line. This zone includes single or small clusters of well trimmed fire resistant native and ornamental plants, up to 48 inches high, and well trimmed native or ornamental trees limbed up 4-to-6 feet from the ground.

Mulch, chips, and other small multi-cuttings (cut to less than 2 inches in diameter and 4 inches in length) should be evenly spread over the area to prevent grass and weed encroachment within the treated areas. This mulching concept helps to maintain the soil moisture for the designed plants and minimizes any soil erosion. All native grasses or weeds should be mowed or weed-whipped to a 2-inch stubble height.

3. Strategic Fuel Modification and Open Space Treatment Areas

The FMZP includes several strategic fuel modification and open space areas that will require an initial fuel modification treatment and continued long-term fuel maintenance responsibility. These 100 feet wide fuel modification areas can be “firewise” commercial irrigated landscaping and/or consist of “firewise” maintained native vegetative areas.

Prescription for strategic fuel modification treatment and open space areas are very similar to Zone 2 treatment. Fuel modification treatment areas may include single or small clusters of well trimmed (removal of all dead material) fire resistant native and ornamental plants, up to 48 inches high, and well trimmed native or ornamental trees limbed up to 4-to-6 feet from the ground. All native grasses or weeds should be mowed or weed-whipped to a 2-inch stubble height.

Mulches, chips, and other small multi-cuttings should be evenly spread over the area to prevent grass and weed encroachment within the treated areas. This mulching concept helps to maintain the soil moisture for the designed plants and minimizes any soil erosion.

Clusters of native vegetation are acceptable; except they must be separated by a distance of one and one-half times the height of the cluster vegetation and individual clusters should not exceed more than 50 feet in circumference. All dead material should be pruned out of these clusters, chipped or multi-cut, and scattered evenly over the site as mulching material.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.5.2 FUEL MANAGEMENT GUIDELINES

The Fire Department shall review all proposed Fuel Modification Zone Plans and have final approval authority.

1. Once a Fuel Management Zone Plan has been implemented, the modification zones shall be maintained in a consistent condition which shall be subject to review by the City of Corona. The Fuel Management Zone Plan area shall be maintained by a Homeowners Association or an acceptable maintenance district as approved by the City Council. Areas of maintenance responsibility are shown on Exhibit 6-1.
2. No grading or fuel modification areas shall extend outside the Specific Plan boundary into the Cleveland National Forest. No off-site grading or fuel modification on private property shall occur without the written consent of the property owner.
3. Fuel modification areas will be subject to annual surveys by the Fire Department and maintenance by the property owner or other appropriate maintenance district.
4. During the bi-annual surveys, a determination is to be made as to how much clearing is required to keep vegetation at prescribed levels, and how much of the cleared material is to be removed from the site.
5. Unless modified by the Fire Chief of the City of Corona, spring maintenance shall begin no later than the May 1st and be completed no later than June 1st, and autumn maintenance shall begin no later than November 1st and be completed no later than December 1st.
6. The Fire Chief of the City of Corona shall be notified 72 hours before maintenance begins.
7. The Fire Chief of the City of Corona may supersede the Fuel Modification Standards subject to the review of concerned parties.
8. All fuel modification required to provide adequate fire protection for this project must occur within the development boundaries or such off-site areas shall be acquired in fee title. Site specific exceptions to this requirement may be considered by the city prior to approval of the master tentative map, provided that it can be adequately demonstrated to the satisfaction of the City's Fire Chief, Planning Director and the City Attorney that off site maintenance of these areas is enforceable upon the Homeowners Association via assessment liens, or other such taxable or similar mechanisms, and that non-performance of said maintenance will not present a financial impact or maintenance liability to the City of Corona.

SECTION 5: COMMUNITY DESIGN GUIDELINES

5.5.3 FUEL MODIFICATION PLANT LIST

Table 9 provides a recommended planting list to be used in all Eagle Glen Fuel Modification Zones.

**TABLE 9
LANDSCAPE PLANT PALETTE
FOR FIRE FUEL MODIFICATION AREAS**

TREES

<u>Botanical Name</u>	<u>Common Name</u>
Ceratonia siliqua	Carob
Cercidium floridum	Blue Palo Verde
Cercidium microphyllum	Little Leaf Palo Verde
Citrus species	Citrus varieties
Platanus racemosa	California Sycamore
Quercus agrifolia	California Live Oak
Rhus lancea	African Sumac

SHRUBS

<u>Botanical Name</u>	<u>Common Name</u>
Acacia redolens	NCN
Achillea millefolium	Common Yarrow
Achillea tomentosa	Woolly Yarrow
Agave americana	Century Plant
Agave attenuata	NCN
Aloe arborescens	Tree Aloe
Aloe species	NCN
Arctostaphylos hookeri	Monterey Carpet
Atriplex canescens	Saltbush
Atriplex cuneata	
Atriplex gardneri	Garner's Saltbush
Atriplex glauca	
Atriplex lentiformis 'breweri'	Brewer Saltbush
Atriplex rhagodioides	Silver Saltbush
Atriplex semibaccata	Creeping Saltbush
Baccharis pilularis	Coyote Bush
Ceanothus gloriosus	Point Reyes
Ceanothus griseus horizontalis	Carmel Creeper

SECTION 5: COMMUNITY DESIGN GUIDELINES

Ceanothus prostratus	Squaw Carpet
Ceanothus species	Rockrose
Cistus ‘Descanso Hybrid’	Hybrid Rockrose
Cistus corbariensis	‘White Rockrose
Cistus corsicus	
Cistiis cyprius	
Cistus incanus	
Cistus ladanifer	Crimson Spot Rock
Cistus purpureus	Purple Rock Rose
Cistus salviifolius	Sageleaf Rockrose
Cocculus laurifolius	Snailseed
Echium fastuosum	Pride of Madiera
Helianthemum nummularium	Sunrose
Heteromeles arbutifolia	Toyon
Hypericum calycinum	Aaron’s Beard
Limonium perezii	Sea Lavender
Lonicera japonica ‘Halliana’	Hall’s Honeysuckle
Lotus scoparius	Deerweed
Mimulus cardinalis	Monkey Flower
Myoporum debile	
Myoporum insulare	
Myoporum laetum	
Myoporum parvifolium	Myoporum
Nerium oleander var.	Oleander
Rosmarinus officinalis	Dwarf Rosemary
Santolina chamaecyparissus	Lavender Cotton
Santolina species	Santolina
Santolina virens	Green Lavender Cotton
Trachelosperumum jasminoides	Star Jasmine
Xylosma congestum	NCN

GROUND COVERS

Ajuga reptans	Carpet Bugle
Acacia ongerup	Acacia
Aloe aristata	
Arctostaphylos edmundsii	Little Sur Manzanita
Arctostaphylos uva-ursi	Bearberry
Arctotheca calendula	Cape Weed
Atriplex semibaccata	Creeping Saltbush
Baccharis pilularis	Dwarf Coyote Bush
Carpobrotus edulis	Hottentot Fig
Cerastium tomentosum	Snow in Summer

SECTION 5: COMMUNITY DESIGN GUIDELINES

Delosperma 'Alba'	White Trail Iceplant
Drosanthemum	
Drosanthemum hispidum	Rosea Iceplant
Gazania hybrids	South African Daisy
Gazania uniflora	Trailing Gazania
Hedera canariensis	Algerian Ivy
Hedera helix	English Ivy
Lampranthus aurantiacus	Bush Iceplant
Lampranthus filicaulis	Redondo Creeper
Lampranthus spectabilis	Trailing Iceplant
Lippia canescens	
Malephora crocea	Croceum Iceplant
Malephora luteola	Trailing Iceplant
Myoporum 'pacifica'	
Myoporum panv 'Prostratum'	
Salvia sonomensis	Creeping Sage
Sedum acre	Goldmoss Sedum
Sedum album	Green Stonecrop
Sedum confusum	
Sedum lineare	
Sedum rubrotinctum	Brown Bean
Teucrium chamaedrys	Germander
Thymus serpyllum	Mother of Thyme
Verbena peruviana	Peruvian Verbena
Vinca major	Periwinkle
Vinca minor	Dwarf Running Myrtle

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

6.1 INTRODUCTION

The Specific Plan, when adopted as a City Ordinance, serves both a planning function and regulatory function. It is the vehicle by which the General Plan is implemented with regards to the Eagle Glen property. The Specific Plan also contains all applicable land use regulations and will thus constitute the zoning for all Eagle Glen property. In addition, general administration rules are specified to properly relate the Specific Plan to the provisions within the Corona Municipal Code.

Implementation of the proposed land uses shall be through approved Subdivision Map Act procedures, Precise Plans and Site Development Plan Review.

Should future economic or development conditions make it desirable to amend this Specific Plan, the procedures described in Section 6.8 shall govern such amendments.

If there is a conflict found between this Specific Plan and the City's Municipal Codes, the contents of this Specific Plan shall prevail.

6.2 INFRASTRUCTURE FINANCING

The Eagle Glen Planned Community will participate in Public Financing Programs as established by state law, city ordinances, and conditions of approval.

Basic funding approaches include:

1. Assessment Districts - Per the Municipal Improvement Act of 1913, an Assessment District can be created for construction or the acquisition of a wide variety of public improvements; or
2. Community Facilities Districts - The Mello Roos Community Facilities Act of 1982 allows a public agency to form a Community Facilities District (CFD) to provide public services and improvements.

Improvements which may be financed in this manner include:

1. Waste water treatment facility;
2. Water and sewer facilities;
3. Community reservoir, booster stations and pressure reducing stations;
4. Arterial and collector roadways, including landscaping, lighting and signs;
5. Sports park and neighborhood park improvements;
6. Emergency communications and/or public safety facilities;
7. Storm drains, drainage channels, and debris basins; and
8. Telephone, gas, electric and cable television facilities located within the public right-of-way.
9. Cajalco Road/I-15 interchanges.

Any improvement expenses required by the City of Corona incurred by the developer, but which exceed the developer's proportional responsibility or fair share of such expenses, may be reimbursed to the developer through a mutually agreeable mechanism.

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

6.3 MAINTENANCE AND OPERATIONS

The Specific Plan recognizes four categories of maintenance responsibility. The four maintenance categories are described below and category locations are illustrated on Exhibit 6-1.

6.3.1 PRIVATE MAINTENANCE

The land within the private residential lots of Eagle Glen falls into this maintenance category. The individual private property owner is responsible for designated private maintenance areas.

6.3.2 LOCAL AGENCY MAINTENANCE

This category describes publicly-owned sites. The public agency which owns the property shall be responsible for its maintenance. Within Eagle Glen, maintenance of the elementary school site will be the responsibility of the Corona Norco Unified School District upon dedication to the district by the developer. Maintenance of the emergency communication facility and the two park sites will be the responsibility of the City of Corona upon dedication by the developer.

6.3.3 GOLF COURSE MAINTENANCE

The golf course, including all landscaped and natural areas shall be maintained by the golf course ownership.

6.3.4 HOMEOWNERS ASSOCIATION (HOA)

For areas designated by this category on Exhibit 6-1, maintenance shall be the responsibility of the Project's Homeowners' Association(s) (HOA). The HOA will be responsible for the following improvements:

1. Landscaping located at the project entries, individual subdivision entries, and special landscape areas.
2. Landscaping along the public street system which may be accepted by the City Council for maintenance by the CFD/HOA.
3. Areas within the HOA shall be separate lots or landscape easements.
4. Fuel Modification Zone 2 and Fuel Modification Zone Plan strategic fuel modification and open space areas.
5. Major slopes, generally over 20 feet in height, within the residential areas.



- Notes:
1. FINAL STREET ALIGNMENTS TO BE DETERMINED DURING FINAL DESIGN.
 2. ADDITIONAL COMMUNITY FACILITIES DISTRICT OR HOMEOWNERS ASSOCIATION AREAS MAY BE NECESSARY AS A RESULT OF FINAL STREET ALIGNMENTS.

LEGEND

	PRIVATE MAINTENANCE
	HOMEOWNERS ASSOCIATION
	LOCAL AGENCY MAINTENANCE
	GOLF COURSE

SPECIFIC PLAN AMENDMENT

Eagle Glen

City of Corona, California
CORONA COUNTRY CLUB ESTATES, L.L.C.

10670 Civic Center Drive, Rancho Cucamonga, CA 91730 (909) 987-7788

EXHIBIT 6-1
MAINTENANCE AREAS



SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

6.4 DEVELOPMENT APPLICATIONS

All proposed projects shall first be submitted for Development Plan Review, per Chapter 17.102 of the Corona Municipal Code.

All commercial, recreation, and residential land use projects shall meet the appropriate Precise Plan application requirements and standards and Conditions of Approval.

All uses classified by this plan as conditional uses shall require a Conditional Use Permit, per Chapter 17.92 of the Corona Municipal Code.

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

6.5 PRECISE PLANS

6.5.1 PROCESSING

A Precise Plan shall be prepared, submitted and approved for all residential development, the Commercial Center, and the golf course, practice range and clubhouse/banquet facility. Precise Plans shall be consistent with the intent and objectives of this Specific Plan and no building permits shall be issued for such developments until the Precise Plan is approved by the City Council.

Precise Plans and Tentative Subdivision Maps for development shall include design features to avoid potential conflicts with existing off-site land uses. These features may include, for example, landscape screening, berms, walls, setbacks from planning area boundaries, and orientation of land uses to ensure compatibility.

6.5.2 ELIGIBILITY

Any project developed pursuant to this section shall meet the following requirements, and any such approvals shall be subject to conditions established under this section:

1. The land area and dimensions of the project shall not be less than the lot area requirements established by the district designation.
2. Maximum residential densities shall be in accordance with Table i, Land Use Allocation, in Section 3.
3. All public open spaces shall be provided with all required on-site and off-site improvements in accordance with the current City policy.
4. Conditions to ensure maintenance of any proposed common areas shall be included to the satisfaction of the City of Corona.
5. Architectural design shall be consistent with the Section 5 Design Guidelines and the City of Corona Residential Design Guidelines.

6.5.3 REQUIRED ACTION

1. Prior to filing of an application for projects requiring Precise Plan approval, the developer shall submit plans to the Planning Director for Development Plan Review following the provisions of the Corona Municipal Code, Chapter 17.102.
2. The Planning Commission shall approve, conditionally approve, or deny all Precise Plans submitted for approval.

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

3. Any Precise Plan project shall be developed subject to all conditions imposed as part of approval of the Precise Plan. The Planning Director may approve or conditionally approve minor adjustments provided such adjustments are in substantial compliance with Planning Commission approval.

6.5.4 CONDITIONS OF APPROVAL

Any Precise Plan units shall address the following conditions:

1. The proposed Precise Plan development shall conform to the General Plan and Specific Plan in terms of general location, density and general standards of development.
2. All private common access streets provided for vehicular access and serving residential units within the project shall be developed in accordance with this Specific Plan's private street standards and shall be perpetually maintained by the responsible entity.
3. The City Council may require and accept dedication of public easements for utilities along or across the common areas of the project.
4. The Planning Commission may require other reasonable conditions which relate to the physical development of the project or to the methods of managing the common elements and providing for perpetual maintenance of the elements.
5. The Planning Commission shall review and apply conditions thereto, the physical and architectural design of the project as to its relationship with, and conformity to, the topography and other natural and structural features of the site and surrounding area.

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

6.6 SUBDIVISIONS

6.6.1 GENERAL APPLICATION

The provisions of this Section shall be used for processing subdivisions in the Eagle Glen Specific Plan. Standards which are not addressed in this section shall be governed by Title 16, Subdivision Ordinance, and City of Corona. Modifications to these and other Title 16 standards may be applied for in accordance with Corona Municipal Code Chapter 16.32.

1. The applicant shall prepare a home buyer notification package which contains a description and accompanying maps showing the adopted land use plans for the Eagle Glen Specific Plan and surrounding areas, including the existence of mining operations. Each homeowner will be required to affirm, by signature, that he is aware of the existing surrounding land uses and future development plans within the Specific Plan area and that he acknowledges the right of the mine operators to continue mining activities to the extent allowed under applicable permits. The contents of the notification package shall be reviewed and approved by the Planning Director prior to recordation of the first builder tract map.
2. The applicant shall obtain required permits from the U.S. Fish and Wildlife Service, California Department of Fish and Game, or other state or federal agency prior to recordation of a Tentative Subdivision Map, or prior to the issuance of grading permits, whichever occurs first.
3. Prior to final map, the developer shall record a disclosing statement, to be incorporated into the title reports for all residential and commercial lots created, that the property is adjacent to a sand mine operation and that the mining activity is permitted to continue for a maximum of 10 years.
4. All residential areas located adjacent to collector or larger streets shall be subject to an acoustic study to ensure compliance with the noise standards of 65 CNEL exterior and 45 CNEL interior prior to tentative tract approval.
5. Subdivision maps of all residential areas require approval of a Precise Plan application, prior to the issuance of permits for a precise grading plan and building plan.
6. All proposed residential subdivisions must be reviewed for conformance with the funding obligation of CFD 97-2 as shown in Appendix B.

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

6.6.2 DESIGN STANDARDS

1. Cul-de-Sacs - Cul-de-sac streets shall be designed in compliance with the City of Corona Road Design Criteria Guidelines, except that frontages on cul-de-sac and knuckle frontages may be allowed to a minimum of 35 feet. Where such conditions are proposed, the City reserves the right to review the entire cul-de-sac street scene for adequate on-street parking of at least one space per unit. All other cul-de-sac variations must be approved by the Board of Zoning Adjustment per Section 17.98.070 of the Corona Municipal Code.
2. Lots and Blocks - Lots and blocks shall have dimensions suitable to the land uses proposed, as follows:
 - a. Residential blocks shall be two lots deep in width except in the following cases:
 - (1) Residential blocks along secondary arterial and collector highways may be one lot deep.
 - (2) Isolated one-lot-deep blocks may be allowed when the HOA maintains the slope areas separating the right-of-way and rear property line.
 - (3) In the HR designation, custom lot blocks on steep ridges and custom lot blocks adjacent to residential estates may be one lot deep (for purposes of retaining natural character of hillside areas).
 - b. Except as noted above, residential blocks shall have a minimum number of intersections with major or secondary streets. If future development is approved in the HR, custom lot blocks may deviate from these limitations, if necessary, to avoid either destroying significant rock outcroppings or developing on slopes greater than 30 percent, subject to the review and approval of the City Engineer. Within the Hillside Overlay District, hillside design standards shall take precedence over this section.
3. Residential Flag Lots - may be allowed on a case-by case basis and shall be reviewed for approval in conjunction with Tentative Subdivision Map review. The following design requirements shall apply:
 - a. Minimum flag lot street frontage shall be 20 feet.
 - b. Two flag lots shall not be located together and each flag lot must be adjacent to standard width lots on each side.
 - c. Adequate lot area must exist to permit a vehicular turn-around area.

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

6.7 GENERAL ADMINISTRATION/PLANNING COMMISSION HEARINGS

A public hearing on all Precise Plan applications shall be held in accordance with the provisions of Section 17.92, Conditional Use Permit, of the Corona Municipal Code. The Planning Commission may approve, modify, conditionally approve or deny said application.

6.7.1 EFFECTIVE DATE

1. No Precise Plan approval granted or authorized by the Commission, as provided in this section, shall become effective until the next regular City Council meeting after the date of the resolution granting approval in order to verify the absence of an appeal.
2. All decisions of the Planning Commission concerning the merits of the applications shall be final unless appealed within the time period prescribed in Section 17.100.08 of the Corona Municipal Code or unless the City Council initiates a review thereof.

6.7.2 BUILDING PERMITS

Where use is made of the Precise Plan or Design Review procedure as provided in this Specific Plan, no building permits shall be issued for any development on the subject property, or part thereof, until the Planning Director, Planning Commission and/or City Council have approved the Precise Plan or Design Review, as appropriate.

6.7.3 EXPIRATION OF APPROVAL

In any case where a residential Precise Plan approval has been granted and a building permit not issued within 24 months after the date of granting thereof, the time shall be automatically extended in accordance with the remaining time on the accompanying Tentative Subdivision Map.

6.7.4 EXTENSIONS

Extensions of time for any Precise Plan or Conditional Use Permit shall be determined by the Planning Commission. Extensions of time for any tentative subdivision map shall be determined by the City Council.

Extensions shall not be considered unless a letter specifying the following information is received by the Planning Director before the date on which the approval expires:

1. A description and documentation of good faith efforts to effectuate the plan;

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

2. A description and documentation of acts, conditions or events beyond the permittee's control which precluded project implementation;
3. An estimate of what must occur in order to proceed, along with an estimated time and requested extension period, accordingly.

6.7.5 PERFORMANCE STANDARDS

All development within this Specific Plan shall comply with the performance standards of Section 17.84 of the Corona Municipal Code unless superseded by standards prescribed in this Specific Plan.

6.7.6 ADMINISTRATION AND ENFORCEMENT

The Eagle Glen Specific Plan shall be administered and enforced according to Section 17.108 of the Corona Municipal Code.

6.7.7 VARIANCES

The provisions of Chapter 17.96 of the Corona Municipal Code shall be followed for any variance requested in the Eagle Glen Specific Plan. Such variances, if sought, shall not constitute an amendment to this Specific Plan. Minor variances shall follow the provisions set forth in Section 17.92.150 of the City's Municipal Code.

6.7.8 BUILDING PERMIT SUBMITTALS

Submittal packets for the issuance of building permits shall include, among other plans, architectural plans, fence/wall plans, landscape and slope treatment plans and/or irrigation systems where required. Also in affected areas, fuel modification plans shall be submitted.

6.7.9 LANDSCAPE PLANS

Conceptual or preliminary landscape plans shall be submitted with Precise Plan or Design Review applications. Landscape plans, prepared by a licensed landscape architect, for any CFD area shall be submitted along with the first submittal of street improvement and grading plans to the Public Works Department and Parks and Recreation Department for review and approval. However, all other landscape plans shall be submitted and approved prior to building permit.

Said landscape plans will include plant material taken from the Landscape Plant Palette Table (Table 8), or as approved by the Planning Division. Plant material quantities will conform to Section 17.70 of the City of Corona Municipal Code and Parks and Recreation Department LMD guidelines, and will include calculations verifying conformity. They will also indicate the residence-to-street-tree irrigation system proposed for neighborhood street trees separated from adjacent residences by fences or block walls.

SECTION 6: IMPLEMENTATION AND ADMINISTRATIVE PROCEDURES

6.8 SPECIFIC PLAN AMENDMENTS

1. Requirements and Procedures - This Specific Plan may be amended at any time in the same manner and by the same process by which the plan was originally adopted, as described in Section 17.53.110 of the Corona Municipal Code. The City's standard environmental review procedures shall be followed.
2. Administrative Actions - Certain minor changes to provisions in the Specific Plan may be made administratively by the Planning Director, subject to appeal to the Planning Commission and subsequently, the City Council. Such amendments do not require revisions to the Pre-Annexation Agreement and do not require additional environmental review. These changes include but are not limited to:
 - a. The addition of new information to the Specific Plan maps or text that does not change the effect of any concepts or regulations.
 - b. Changes to the community infrastructure, such as drainage, streets, water, and sewer systems which do not have the effect of increasing or decreasing development capacity in the Specific Plan area, nor change the concepts of the Specific Plan.
 - c. Boundary adjustments, easement locations, and minor design feature changes.
 - d. Minor land use district boundary adjustments.
 - e. Land use area acreage adjustments for acreages shown on Table 1.
 - f. Revisions to the Landscape Guidelines, Section 5.4.
 - g. Adjustments to the Fuel Management Program, as described in Section 5.5.
 - h. .Other items determined to be appropriate by the Planning Director.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

The City of Coronas planning process is based upon a set of adopted goals included in the City's General Plan. This section outlines the City's General Plan goals and describes how the Specific Plan's objectives will implement those goals.

7.1 RELATIONSHIP TO THE GENERAL PLAN

The Specific Plan's objectives and policies will be used in conjunction with the Design Guidelines and Development Standards contained in later sections of this Plan. The Goals of the City of Corona General Plan are stated below, followed by the Eagle Glen Specific Plan objectives to implement these goals (as shown in **bold type**).

7.2 LAND USE GOALS

General Plan Goal:

"To develop a land use pattern which meets the basic needs of Corona residents for essential services, working and living areas, and areas for pursuit of leisure time activities."

Eagle Glen Implementation Objective:

To incorporate a range of single-family residential densities, support commercial and open space uses, as well as public and private recreational services, and public services to meet the basic daily living and working needs of future residents.

General Plan Goal:

"To conserve, protect, and enhance natural resources for the benefit and enjoyment of the resident population and the region and guide future development in a direction that maximizes the utility of natural resources."

Eagle Glen Implementation Objective:

To designate more than 20 percent of the project as open space, most of which is to remain in a natural state, preserved for the future residents.

General Plan Goal:

"To economize on the costs of municipal facilities and services and the extension of these services by phasing residential development in a manner consistent with availability of public improvements."

Eagle Glen Implementation Objective:

To provide utilities, facilities and services in a timely and economic manner as indicated in the Eagle Glen Phasing Plan.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

General Plan Goal:

“To establish municipal control over the development of the City to avoid physical, governmental, and fiscal problems generated by premature residential growth.”

Eagle Glen Implementation Objective:

To establish development standards and regulations over the project area which will be reviewed and adopted by the City to control the manner in which the project is developed.

General Plan Goal:

“To maintain an economic balance among land uses.”

Eagle Glen Implementation Objective:

To create a variety of residential products, appealing to a wide variety of economic segments of the population.

General Plan Goal:

“To set standards for municipal services and maintain this quality of service throughout the City.”

Eagle Glen Implementation Objective:

To develop and carry out a phasing plan that provides for cost-effective public facilities and services.

General Plan Goal:

“To consider the land use requirements and population pressure within the region, state, and nation while maintaining standards for essential services.”

Eagle Glen Implementation Objective:

To provide housing and employment opportunities in response to local and regional market demands in a cost effective and systematic manner.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

7.3 CIRCULATION GOALS

General Plan Goal:

“To provide a safe and efficient system for movement of people and goods in the City of Corona through City actions and coordination of all agencies involved in development of circulation facilities in the Corona area.”

Eagle Glen Implementation Objective:

To provide an on-site circulation system consistent with the City’s street standards, which also provides connections to and compliments off-site circulation systems.

General Plan Goal:

“To increase the mobility of residents through development of an adequate and balanced transportation system that includes automotive and non-auto transportation considerations.”

Eagle Glen Implementation Objective:

To provide a circulation system which incorporates pedestrian and automotive considerations which will result in a balanced transportation system within the project.

Eagle Glen Implementation Objective:

To provide a pedestrian circulation system, which is separated from vehicular traffic and consistent with the community image.

Eagle Glen Implementation Objective:

To work with local transit districts in order to accommodate public transportation systems, such as buses, van pools, Dial-A-Ride programs, etc.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

7.4 HOUSING GOALS

General Plan Goal:

‘To encourage development of housing to satisfy the shelter and home environment needs of existing and future Corona residents.’

General Plan Goal:

“To encourage provision of a variety of housing types, prices, ownership possibilities, and locations.”

Eagle Glen Implementation Objective:

To provide a wide range of housing opportunities, including condominium homes, single- family residential lots of various sizes and estate home sites. The wide variety of lot sizes and architectural configurations will allow for housing opportunities to wide economic segments of future residents.

General Plan Goal:

“To develop neighborhoods properly related to essential community services.”

Eagle Glen Implementation Objective:

To create a mix of land uses, including public and private recreational facilities in proximity to, or incorporated within, residential neighborhoods. Commercial services will also be located in proximity to residential development.

General Plan Goal:

“To maintain high quality development standards for residential land development to ensure establishment of neighborhoods with lasting value.”

Eagle Glen Implementation Objective:

To incorporate development regulations and community design guidelines into the Specific Plan to assure a high quality of residential development throughout the Specific Plan area.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

7.5 CONSERVATION GOALS

General Plan Goal:

“To preserve, protect, and enhance the City’s natural resource and open space inventory for the benefit of the City’s residents and the region.”

Eagle Glen Implementation Objective:

To provide over one-third of the project area as improved or natural open space. Connect open space areas with hiking and pedestrian trails. To incorporate a sports park, neighborhood park, golf course and related open space amenities and integrate natural features into the community.

General Plan Goal:

“To conserve the City’s natural resource base through planned utilization of water, soil, and other resources that are considered valuable for reasons of economic benefit, safety, and aesthetic value.”

Eagle Glen Implementation Objective:

To conserve natural resources by preserving more than 20 percent of the property as permanent natural open space. To incorporate the use of treated reclaimed water for golf course and landscape irrigation. To designate water conservation measures to be designed into the landscape palettes and requirements.

General Plan Goal:

“To create a productive balance between man and his uses of land and the conservation of areas with unique environmental and aesthetic value.”

Eagle Glen Implementation Objective:

To designate the steeper ridge and hillside portions of Eagle Glen for future estate homes on large lots. Hillside Overlay District Guidelines will be included in the Specific Plan to ensure that grading in hillside areas will be sensitive to the existing landforms, and where grading is necessary, will emulate natural topographic features. Hillside areas located between the golf course and estate homes will be preserved as natural open space.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

7.6 OPEN SPACE GOALS

General Plan Goal:

“To achieve balanced distribution of open space to meet the needs of residents and contribute to logical development of the urban area.’

Eagle Glen Implementation Objective:

To provide a combination of natural open space, parks and active recreational facilities to meet the needs of future residents of Eagle Glen as well as residents of and visitors to the South Corona area. Parks will be located within the project area to provide easy access for community residents.

General Plan Goal

“To create a public open space network that satisfies the active and passive needs of City residents.”

Eagle Glen Implementation Objective:

To provide park site(s) on land that is usable for active recreation purposes. To provide an 18-hole golf course, open to the public, and to dedicate a minimum of twenty percent of the site as natural open space.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

7.7 COMMUNITY DESIGN AND SCENIC HIGHWAY GOALS

General Plan Goal:

“To develop a City that is visually attractive, efficiently and effectively organized, and understandable, both functionally and psychologically.”

Eagle Glen Implementation Objective:

To encourage the undulation and variation of slopes to emulate a natural character.

Eagle Glen Implementation Objective:

To foster an impression of custom development through all development styles.

Eagle Glen Implementation Objective:

To place residential structures within each Planning Area considering prevalent environmental conditions such as sun, wind, terrain, views, and existing drainage and vegetation.

General Plan Goal:

“To preserve and enhance the visual aspects of the City’s circulation system for scenic purposes.”

Eagle Glen Implementation Objective:

To include community design guidelines which establish criteria for entry points, streetscapes, landscape and architecture for development projects throughout Eagle Glen.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

7.8 NOISE GOALS

General Plan Goal:

“To avoid locating noise generating uses adjacent to land use categories in excess of maximum suggested noise standards.”

Eagle Glen Implementation Objective:

To buffer sensitive land uses from noise generating uses.

Eagle Glen Implementation Objective:

To locate commercial uses along arterial highways.

General Plan Goal:

“To avoid locating noise sensitive facilities such as schools, libraries, hospitals, and parks, within areas designated in excess of 45 dB as shown on City of Corona Noise Level Map unless sufficient mitigation measures are proposed.”

Eagle Glen Implementation Objective:

To locate noise sensitive uses, such as schools, in predominantly residential neighborhoods. No sensitive land uses will be located in areas where interior noise levels would be in excess of 45 dB, or where exterior noise levels would exceed 65 dB.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

7.9 LAND MANAGEMENT AREAS

The City has designated areas of over 25% slope as Slope Management Areas. These areas have been limited (by the City) to low density residential development at a maximum residential density of 1.0 du/acre.

Eagle Glen Implementation Objective:

To designate the Hillside Overlay District for either Open Space or Low Density Residential uses, the latter of which allows an overall density of 1.0 du/ac.

The City has also designated Flood Hazard Areas, for areas which experience 100-year floods. These areas are designated as such to ensure permanent control by means of a Floodplain Overlay Zone. The site has not been included in the existing FIRM mapping; however it is likely that the 100-year floodplain is located on the site associated with the Bedford Canyon Wash (due to the fact the FIRM mapping east of I-15 shows the 100-year floodplain associated with the Bedford Canyon Wash). All structures constructed within the project area will be protected from floodplain hazard.

Geologic Hazard Management Areas are also designated by the City of Corona. These areas include the Alquist-Priolo Special Studies Zone (SSZ) and potential areas of liquefaction. The Alquist-Priolo SSZ does extend through the site. Liquefaction potential is very low.

Eagle Glen Implementation Objective:

To restrict any structures from being located in areas deemed unsuitable by the project geologist, or unsuitable due to flood potential.

SECTION 7: GENERAL PLAN CONSISTENCY ANALYSIS

7.10 SOUTH CORONA COMMUNITY FACILITIES PLAN (CFP)

In July 1988, the Corona City Council adopted the Community Facilities Plan to guide the overall development of the 5,000-acre South Corona Planning Area. The Community Facilities Plan (CFP) serves as a master development plan for the South Corona area. Project plans for individual development areas adjacent to the CFP, including this plan for Eagle Glen, should be evaluated according to their compatibility with the plans, standards and guidelines of the CFP.

Eagle Glen is immediately adjacent to Planning Area 442 of the CFP, although the two areas are physically separated by the large Joseph Canyon Wash which forms a natural barrier. Planning Area 442 is planned as Estate Residential with a target density of 1.47 du/ac. Development of the 20.5 acres within the current city limits will be consistent with the CFP target density for Planning Area 442.