

SPECIFIC PLAN 82-1 THE TOWNSHIP IN CORONA

**Original Specific Plan (SP82-1)
Adopted by City Council
January 5, 1983**

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**AMENDMENTS TO THE TOWNSHIP IN CORONA
SPECIFIC PLAN SP82-001**

CASE NO.	COUNCIL APPROVAL	DESCRIPTION/APPLICANT
SPA89-05	July 19, 1989 Resolution No. 89-86	To decrease the total number of allowable dwelling units from 920 to 825, decrease the amount of MHDR from 31.7 acres to 9.2 acres, increase the amount of MDR from 10.9 acres to 24.1 acres and increase the amount of HDR from 13 acres to 19.1 acres and to make minor changes to the development standards of Sections 4.1 and 4.2 and 4.3, to expand the Community Design Concept and establish architectural and landscape design elements, and amend the circulation element of the plan. (Applicant: The Anden Group)
SPA04-06	December 1, 2004 Ordinance No. 2742	Amendment to incorporate 6.4 acres into the specific plan as Planning Area 8, Medium Density Residential, and to establish development standards (Applicant: Valeo Companies)
SPA05-010	September 7, 2005 Ordinance 2789	Amendment to include 6.98 acres presently zoned Light Manufacturing (M-1) into the specific plan and designate such property as High Density Residential (HDR) located South of Harrington Street, east of Lincoln Avenue (Applicant: City of Corona)
SPA06-003	August 16, 2006 Ordinance 2847	Amendment to bring the land use map of SP82-01 into conformance with the City's General Plan as updated in 2004.
SPA06-007	November 1, 2006 Ordinance 2860	Amendment to add 0.46 acres to the specific plan, designate the added acreage as High Density Residential, and amend the parking standards for multi-family residential developments.
SPA12-001	June 19, 2013 Ordinance 3142	Application to amend the Township in Corona Specific Plan to increase the maximum number of allowable dwelling units in Development Area 9 of the High Density Residential (HDR) designation, to amend the development standards prescribed by the HDR designation as they pertain to off-street parking, reduce the amount of active open space from 100 square feet to 75 square feet per unit and amend the trash enclosure standards to create flexibility in its application for multi-family residential development
SPA15-005	June 1, 2016 Ordinance 3235	Amendment to add 1.1 acres into the specific plan, designate the added acreage as High Density Residential within DA 9, and reduce the number of allowed units from 194 to 148.

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Section 1

Introduction

1.0 Project Description and Location

The Township Specific Plan, “SP 82-1,” proposed the coordinated development of 55.6 acres of land which is under single ownership. Since its adoption, 14.94 acres have been amended into the plan, thereby increasing the total acreage to 70.54 acres.

The proposed urban land uses and related municipal facilities are intended to be comprehensively planned to allow for up to 1,023 residential dwelling units of various types and supporting recreational facilities. A complete backbone utilities system for the Specific Plan area and other necessary public facilities such as public parks, storm drainage and arterial street improvements are to be provided as part of the implementation of this Plan. The Township Specific Plan area is situated above and below River Road, between Cota Street and Lincoln Avenue. Future Harrington Street marks the lower limit of the Specific Plan area, separating the project from City-owned property which represents the edge of Temescal Creek. Boundaries of the Specific Plan are shown in Exhibit 1.

1.1 Authority and Scope

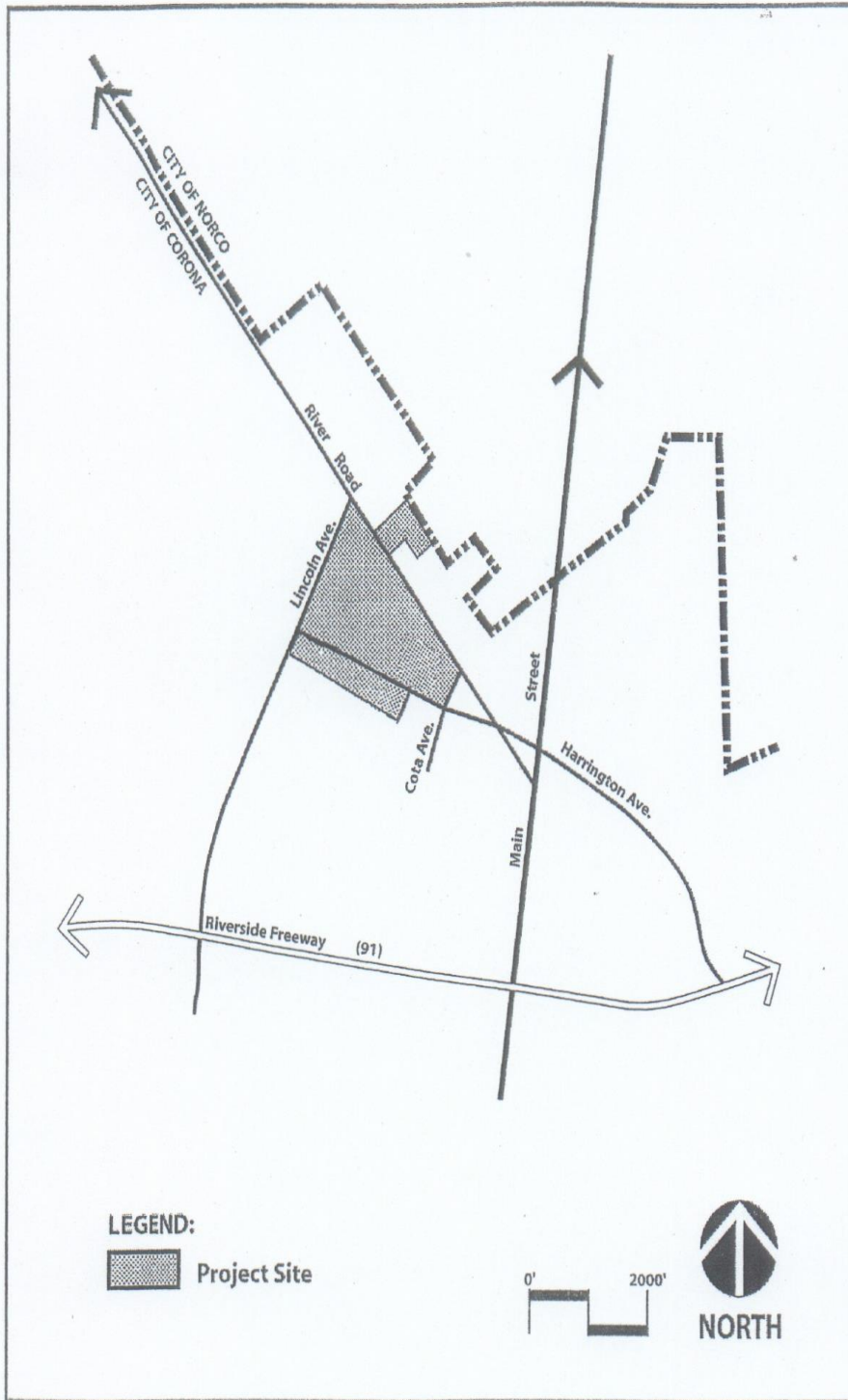
The project site is significantly impacted by major drainage systems in the area. The South Norco Channel runs through the site in a natural condition after passing under River Road. The storm waters carried by this channel subject approximately one-third of the property to periodic flooding. Additionally, the Temescal Creek is located just south of the project, and creates a floodway during a 100-year storm that could impact some of the same area. The proposed development will improve the South Norco Channel to contain the flooding within a drainage facility, freeing up the impacted land for development. Improvements proposed for the Temescal Creek in the near future will control the water within that facility to the point that this entire site will be able to be removed from the floodway by grading design.

California law requires that this Specific Plan be based on the Corona General Plan, and that it include all detailed regulations and conditions which are necessary or convenient for the systematic implementation of the Corona General Plan. Should this Specific Plan contain any regulation or condition inconsistent with any substantive provision of the Corona General Plan, the landowner will apply for, and the City will process pursuant to state and local law, one or more General Plan Amendments to conform the latter to the former. If after consideration of any such General Plan Amendment, the City Council determines not to enact such Amendment, this Specific Plan will then be amended accordingly.

Pursuant to California Government Code, Section 65451, this Specific Plan includes regulations and conditions in regard to the following:

- A. The systematic implementation of the City’s General Plan

- B. The regulation of land uses, establishment of dwelling unit densities, building placement and site development standards, all the provide a flexible regulatory procedure by which the basic public and private purposes of the Corona General Plan and Zoning Requirements may be accomplished, to encourage creative approaches to the use of land through variation in sitting of buildings and the appropriate mixing of several land uses, activities and dwelling types, to enhance the appearance and livability of the community through encouragement of creative approaches to the use of land and the design of facilities, to promote and create public and private open space as an integral part of land developments, to maximize choice in types of living environments available in the City of Corona
- C. Replacement of the existing City of Corona land use zone classifications and the establishment of new land use districts and development standards
- D. Procedures for administration of the Specific Plan
- E. The filing, review and approval of Precise Plans for all residential developments within the Specific Plan
- F. Establishment of the maximum number of dwelling units by development area



Regional Location Map Exhibit 1
Corona Township

Section 2

Planning Goals and Objectives

2.0 General Plan Goals and Objectives

Following are selected goals and objectives from the Land Use Element considered particularly relevant to the development of properties in SP 82-1:

- A. To develop a land use pattern which meets the basic needs of Corona residents for essential services, working and living areas and areas for pursuit of leisure time activities
- B. To economize on the costs of municipal facilities and services and the extension of these services by phasing residential development in a manner consistent with availability of public improvements
- C. To encourage a cohesive pattern of growth extending outward from the developed sections of the city
- D. To encourage and promote flexibility and individuality in development
- E. To protect development that may occur in areas sensitive to development due to hillside character, geological hazard or flood hazard
- F. To maintain an economic balance among land uses

2.1 Specific Plan Concepts

The City's General Plan provides guidance and direction to establish a planned community environment. The arrangement of land uses, streets, utilities and the financing and construction of municipal facilities is designed to respond to the City of Corona General Plan, as well as to Corona's Growth Management Program. The following concepts have been utilized in the development of the Township Specific Plan, and are directly related to one or more of the goals listed above.

- A. Each individual living unit will be provided with sufficient private open space to meet the occupants' needs for exclusivity. Additionally, a significant amount of common open space will be allocated for each unit. The total amount of open space required per unit will exceed that required by any other regulations and is combined to form useful facilities. The Specific Plan will enable a relationship between private and common open spaces that would otherwise not be possible.
- B. The maximum residential density varies from approximately 10.7 dwelling units per gross acre to 26.69 dwelling units per gross acre, providing opportunities for varying residential lifestyles, including rental and ownership housing. The configuration of these densities reflects the character of the development on adjacent parcels.
- C. This Specific Plan provides for the submission of planning and engineering data through the preparation of Precise Plans by the individual owners for specific properties. The Precise Plan procedures are set forth in Section 5 and provide for submittal, review, and hearing and appeal processes. The Precise Plan process will insure acceptable development and maintenance of common areas in residential areas.

- D. The Circulation Path has been developed to provide each unit with efficient ingress and egress without encouraging through traffic. By using private street standards, a minimum amount of land will be paved over, and the configuration of the roadways will respect the basic topography of the site.

- E. Municipal service plans, including water, sewers, storm drainage and public utilities have been developed to insure an adequate water supply and waste treatment and disposal capacity for the total area, and an integration of said facilities into the City of Corona Master Plan facilities. Public utility plans have been developed in cooperation with the serving utilities of the area.

- F. The Community Design Concept of the Specific Plan identifies important planning features which by special design will improve the visual aspects of the urban setting. A pleasing appearance and aesthetic quality will be fundamental considerations for the development of the Specific Plan area.

Section 3

Definitions and General Requirements

3.0 Definitions

Terms used in this text shall be defined in Section 17.04 of the Corona Municipal Code, with the exception or addition of the terms defined below.

3.0.1 Frontage, Condominium Unit

“Condominium unit frontage” refers to that portion of a condominium or apartment unit which contains the main entrance to the unit.

3.0.2 Greenbelt

“Greenbelt” means any open space owned in common or publicly owned which is landscaped and provides for pedestrian circulation.

3.0.3 Townhome

“Townhome” means an arrangement of attached or detached dwelling units, containing a minimum of nine hundred square feet, having at least one bedroom and are constructed on small lots, owned in fee in return for the restriction or dedication of the remaining acreage as permanent open space.

3.0.4 Apartment

“Apartment” means an arrangement of attached multi-family residential units containing a minimum of four hundred fifty (450) square feet, constructed on one lot, held for rent.

3.0.5 Condominium

“Condominium” means an arrangement of attached or detached residential units containing a minimum of eight hundred (800) square feet, having at least one bedroom and constructed on large lots owned in common in which each unit is owned in fee. The underlying lot is either used and maintained in common or used exclusively by the owner(s) of the condominium units.

3.0.6 Garage

“Garage” refers to a structure to store vehicles, having a minimum of two hundred (200) square feet for a single garage, and a minimum of four hundred (400) square feet for a double. The minimum interior clear width shall be ten feet (10) for single garages and twenty feet (20) for double garages.

3.0.7 Internal Circulation

All reference to a private “loop street,” collector road,” and/or an “internal backbone road system” shall mean the Internal Circulation roadway system defined hereinafter as a road or series of roads that provide continuous access for the interior street systems of Planning Area 4, 5, 6, and 7 to ingress and egress points along Lincoln Avenue, River Road, and Harrington Street. The Internal Circulation shall: (1) be limited to only one crossing of the South Norco Channel, (2) be designed and developed in accordance with the City’s Private Street Standards, (3) provide enriched landscape elements per Section 6 (Community Design Standards) and (4) permit direct driveway access, provided the following design standards are followed:

- a. Lots with direct driveway access shall be grouped in clusters with no driveways directly opposite each other on both sides of the road;
- b. Building front and rear setbacks may vary to create an attractive streetscape;
- c. Front yards shall be maintained by individual homeowners;
- d. No more than five lots in a row shall be allowed to have direct driveway access onto the road. A minimum of one hundred fifty feet (150) shall separate clusters of lots having direct driveway access.
- e. No lots having direct driveway access on the road shall have setbacks of less than eighteen feet (18).
- f. No more than three (3) percent of the total allowable project units shall have direct driveway access onto the road.

The above internal circulation requirements (3a, 3c, 3d, 3f) shall not be required in Planning Area 8 (Annexed Area), because of Area 8 is a detached condominium and these requirements do not apply.

3.1 General Requirements

The following requirements are of a general nature, applying to the entire Specific Plan area.

3.1.1 Vehicular Access

Each building or lot shall have permanent access to either a street, a private or public drive, or an alley on which the building or lot abuts.

3.1.2 Flood Control Facility

The extension of the South Norco Channel will be developed as an open, naturalized channel consistent with the operational and safety requirements of the Riverside County Flood Control District, the Federal Emergency Management Agency and the City of Corona.

3.1.3 Maintenance

The following four types of facilities will exist within the Specific Plan area. Each will require a different type of maintenance, as described below. In addition to maintenance programs for each of the facilities, it will be necessary to provide a maintenance program for the naturalized channel, which is also described below.

- A. **Public Facilities:** The flood control device and the public street improvements surrounding the property will be maintained by the Riverside County Flood Control District and the City of Corona respectively.
- B. **Quasi-Public Facilities:** Areas such as widened parkways along public streets and the riparian habitat area, will be combined into a Landscaped Maintenance District administered by the City or a Master Homeowner's Association.
- C. **Community-Wide Recreation Facilities:** Areas such as the open space linkages and the recreation facilities, which benefit all residents of the community, will be maintained by a master community association in which all units participate equally.
- D. **Area Specific Facilities:** Areas such as parking courts, alleyways and ornamental landscaping directly related to a specific product will be maintained as part of the that product type's homeowner association.

3.1.4 Conflict in Regulations

Whenever the regulations contained in this text conflict with the regulations of Title 17, Chapter 17.02-17.108 of the Corona Municipal Codes, the regulations of the Township Specific Plan will take precedence.

3.1.5 Model Complex

Within the Specific Plan area, any model complex and/or sales office designed for temporary use in such a manner shall be permitted subject to review and approval by the Board of Zoning Adjustment, according to the procedures described in Chapter 17.98 of the City of Corona Zoning Ordinance.

3.1.6 Landscape Architects

Prior to any building permit, a Master Landscape Architectural Plan, which provides plant material types, and a Phasing Plan for the entire project will be submitted. All landscape improvement plans developed pursuant to this plan will be prepared by a licensed landscape architect.

3.1.7 Homeowner's Association By-Laws

Homeowner's Association by-laws must be approved by the City Engineer and recorded prior to any building permit.

3.1.8 Phasing Plan Revisions

All public improvements and private streets shall be phased and constructed as per the phasing program in the Specific Plan, except that minor revisions may be approved by the City Engineer.

3.1.9 Density Transfer

Transfer of units from one planning area to another is permissible if the allowable density of the land use designation is not exceeded and if the total targeted units of 1,069 for all planning areas is not exceeded.

3.1.10 Aviation Easement

An aviation easement has been recorded over the entire Specific Plan area for aviation take-off, landing, and holding flight patterns which is part of future expansion development plans of the Corona Municipal Airport. Prior to the sale of any homes, potential buyers shall be notified of this easement. The manner of said notification shall be approved by the Planning Director.

Section 4

Land Use

4.0 Introduction

Land Use Plan and Statistics

4.0.1 Land Use Plan

The Land Use Plan (Exhibit 2) shows the principal land use designations for the Township Specific Plan area.

Residential

6-10 dwelling units per gross acre - Medium Density

10-16 dwelling units per gross acre - Medium-High Density

16-30 dwelling units per gross acre - High Density

4.0.2 Land Use Statistics

A tabulation of the land use statistics is provided for each Development Area, illustrating the land use designations, gross area in acres, residential densities and total maximum allowable dwelling units in each area.

Gross area is defined as the total land area in acres minus all lands acquired in fee for public use, the Southern California Edison Company transmission line, public rights-of-way of major and secondary streets and public parks.

Development Area	Land Use Designation	Gross Acres	Gross Density	Max. Allow. Dwelling Units
4, 6, 7, 8	Medium D.R.	36.3	10.7	390
5	Med-High D.R.	9.2	15.8	145
9	High D.R.	7.77	19.04	148
1, 2, 3	High D.R.(existing)	13.2	25.8	340
Channel	Open Space	3.2	0.0	0
(DA9)	R.O.W	0.87	0.0	0
		70.54	14.50	1,023



4.1 Medium Density Residential Development Area (MDR)

- 4.1.1 Purpose
- 4.1.2 Permitted Uses
- 4.1.3 Conditional Uses
- 4.1.4 Prohibited Uses
- 4.1.5 Lot Area (per dwelling unit)
- 4.1.6 Building Height
- 4.1.7 Yards
- 4.1.8 Distance Between Buildings
- 4.1.9 Coverage
- 4.1.10 Walls and Fences
- 4.1.11 Access
- 4.1.12 Off-street Parking
- 4.1.13 Minimum Dwelling Units Area
- 4.1.14 Open Space Requirements
- 4.1.15 Trash Pickup Area
- 4.1.16 Enclosed Storage Area
- 4.1.17 Maximum Number of Dwelling Units per Multiple Dwelling

4.1.1 Purpose

The medium density multiple-residential district is intended as a planned residential district of single-family or medium-density multiple-family dwellings with one or more dwellings on the same lot. Except as specifically provided elsewhere in Title 17 of the Corona Municipal Code, any and every building and premises or land in the MDR district shall be used or occupied and every building shall be erected, constructed, established, altered, enlarged, maintained, or moved into within said MDR district exclusively and only in accordance with the regulations set forth in the Specific Plan.

4.1.2 Permitted Uses

The following uses shall be permitted in the MDR, subject to property development standards outlined in the subsequent portion of this Specific Plan:

- One and two-story single-family attached and detached dwellings at the density set forth above. In Planning Area 8, a maximum of eight (8) dwelling units per adjusted gross acre shall be permitted.
- Animals to a maximum of three weaned cats and three weaned dogs;
- Cluster housing;
- Home occupations;
- House trailer, used as a construction project office during time of construction when a valid building permit is in force;
- Parks, playgrounds, recreation or open space areas, hiking trails and bicycle trails;
- Small family and large family daycare homes (Note: Large family daycare facilities require a Board of Zoning Adjustment approval.);

- Similar uses permitted by Commission determination (the Commission may, by resolution of record, permit any other uses which it may determine to be similar to those listed above, in conformity with the intent and purpose of this Specific Plan, and not obnoxious or detrimental to the public health, safety and welfare or to other uses permitted in this district). For procedure see Chapter 17.88 of the Corona Municipal Code.

4.1.3 Conditional Uses

Agricultural uses and day care facilities may be permitted subject to Conditional Use Permits provided for in Chapter 17.92 of the Corona Municipal Code.

4.1.4 Prohibited Uses

Commercial and manufacturing uses are prohibited in the medium density multiple residential districts.

4.1.5 Lot Area (per dwelling unit)

Except in Planning Area 8, when subdivided into fee lots, each dwelling unit in the MDR development area shall be located on a lot having a minimum area of three thousand (3000) square feet. In Planning Area 8, the Exclusive Use Area (EUA) is the land allocated to each residential unit for the building footprint and private usable open space which includes front side and rear yard areas as shown below:

- | | | |
|-----|----------------------------|---------|
| (1) | Minimum Exclusive Use Area | 3,000sf |
| (2) | Minimum EUA Width | 40 feet |
| (3) | Minimum EUA Depth | 75 feet |

4.1.6 Building Height

Except in Planning Area 8, the height of buildings or structures shall not exceed forty (40) feet from finished grade, provided that in areas of fire department access at front and rear and to windows of living areas, the height shall not exceed thirty feet (30') from finished grade. In Planning Area 8, the height of buildings or structures shall not exceed 36 feet from finished grade and three stories.

4.1.7.1 Yards Except in Planning Area 8

- A. Front setback: The front yard shall be a minimum of fifteen feet (15'), except for the following conditions:
- 1) where garages open directly onto an abutting street, in which case the garage setback shall be eighteen feet (18'). The garage setback may be reduced to five feet (5') where a minimum of .5 guest parking spaces per unit are provided. Automatic garage openers shall be provided when front garage setbacks are less than twenty feet (20').
 - 2) when garages are accessed from the side yard, the minimum front setback to the garage may be reduced to ten feet (10'),
 - 3) when the rear yard setback has been increased, the front setback may be reduced proportionally to a minimum of ten feet (10').
- B. Side yard setback: Lots shall have a minimum side yard of five feet (5'). Street side yards shall be a minimum of ten feet (10') on local and private streets and fifteen feet (15') on a collector, secondary or major street.

- C. Rear yard setback: Each lot shall have a rear yard of not less than ten feet (10'). Where the unit abuts an alley which provides access to that unit, the garage setback may be reduced to five feet (5') where a minimum of .5 guest spaces per unit are provided and where automatic garage openers are provided, whether the garage is attached or detached.
- D. Zero lot line conditions: Where no property line exists, or where property lines are at building edges, an imaginary property line will be established at the midpoint between buildings for the purpose of establishing setbacks.

4.1.7.2 Yards in Planning Area 8

The setbacks shall be measured from the project boundary, street right-of-way, edge of private street easements, or boundary of exclusive use area which is to include the front, rear and side yard areas associated with each dwelling unit as appropriate according to the following specifications:

- A. Minimum front yard setback from garage: 20 feet
- B. Minimum front yard setback from dwelling or appurtenance: 10 feet
- C. Minimum rear yard setback: 10 feet
 ❖ Note: Patio covers open on three sides may be set back five feet.
- D. Minimum rear along westerly site boundary
 Two-story structures: 20 feet
 Three-story structures: 30 feet
- E. Minimum interior side yard setback: 10 feet combined
 ❖ Note: One side of building requires no setbacks.
 ❖ Patio covers must be set back no less than three feet from a zero EUA (lot) line.
- F. Minimum Interior street side yard setback: 10 feet
- G. Setback from River Road: 20 feet
 ❖ Note: where a minimum ten foot landscape maintenance district is provided, the setback is 15 feet.

4.1.8 Distance between buildings

Except in Planning Area 8, the minimum distance between dwellings shall not be less than fifteen feet (15'). Exception: With detached zero lot or patio homes, the minimum distance along side yards may be reduced to ten feet (10!) provided there is no entrance opening to the adjoining unit, nor any window where orientation interferes with neighbor's privacy.

In Planning Area 8, ten (10) feet shall separate residential buildings. Roof overhangs, fireplaces and architectural projections may extend up to 2.5 feet into the required yard area. Privacy fence/wall lines can be at zero setback on one side with ten feet on the other or at five feet on either side.

4.1.9 Coverage

Except in Planning Area 8, coverage by buildings or structures shall not exceed fifty percent (50%) of the total area. In Planning Area 8, maximum building coverage of Exclusive Use Areas shall not exceed 45 percent including all accessory structures.

4.1.10 Landscaping, Walls and Fences

Except in Planning Area 8, the provisions of Chapter 17.70 of the Corona Municipal Code shall apply, with the exception that solid fences and walls up to six feet (6') in height may be permitted where one lot depth blocks are created adjacent to major and secondary streets, subject to design approval by the Planning Director.

In Planning Area 8, landscaping with permanent automatic irrigation shall be installed in the front yards of each Exclusive Use Area for maintenance by individual homeowners. Landscaping with automatic irrigation shall be installed in all common open space areas and greenbelts for maintenance by the homeowners association.

- A. The builder is to submit plans and specifications prepared by a licensed landscape architect to the City of Corona for approval.
- B. One 24-inch box tree is to be planted in the front yard regularly spaced and at least five feet from the back of sidewalk.
- C. The entire front yard of each EUA is to be planted with turf and shrubs. The turf shall be planted on soil prepared, irrigated and seeded in those designated turf areas. The shrubs (a minimum of ten percent of front yard landscaping) shall be planted on soil prepared and irrigated for those shrub areas.
- D. For the purposes of this section, the front yard area required to be landscaped shall exclude any courtyard or patio area adjacent to the house which is separated from the rest of the front yard by an opaque fence or wall.
- E. Decorative masonry or non-climbable wrought iron fencing, not to exceed six feet in height shall be constructed along all interior side and rear perimeters of all dwelling units (excluding front yards and sides of buildings constructed at the edge of Exclusive Use Areas). An alternative durable material (excluding wood and wood products) can be submitted to the Planning Director for consideration and approval for interior privacy separation.

4.1.11 Access

The provisions of Chapter 17.68 of the Corona Municipal Code shall apply.

4.1.12 Off-street parking

Except in Planning Area 8, the provisions of Chapter 17.76 of the Corona Municipal Code shall apply.

In Planning Area 8, two (2) off-street parking spaces per unit within an enclosed garage shall be provided and 0.25 guest spaces shall be provided. Guest parking can include street parking and parking bays subject to the approval of the Public Works Director.

4.1.13 Minimum dwelling unit area

Except in Planning Area 8, there shall be a minimum of one thousand (1000) square feet in each dwelling, exclusive of open porches, patios and garages. In Planning Area 8, there shall be a minimum of 1,200 square feet of floor area for each dwelling, exclusive of open porches, patios and garages.

4.1.14.1 Open Space Requirements Except in Planning Area 8

- B. Private open space shall be established for the personal and exclusive use of the dwelling occupant it is designed to serve. A minimum of one hundred- fifty (150) square feet of private open space per dwelling unit shall be required and shall include patios, balconies, porches, decks and/or any other uses deemed appropriate by the Planning Director.

C. Common open space shall be established for the joint use of this general purpose land, to be shared equally by the dwelling occupants it is intended to serve. The common open space shall be of two categories, active and passive.

- 1) Active: A minimum of fifty (50) square feet per dwelling unit of active open space shall be provided, and may include swimming pools, tennis courts, tot lots, mini-parks, recreation rooms, child care centers (CUP required) and/or similar uses deemed appropriate by the Planning Director.

Upon Planning Commission consideration of evidence supporting a reduced active recreational need, the Planning Commission may decrease the required active open space area if the private and/or passive open space recreational area is increased in a corresponding area.

- 2) Passive: A minimum of one hundred (100) square feet per dwelling unit of passive open space shall be provided and may include bicycle paths, jogging trails, picnic areas, walkways, areas set aside for the preservation of environmentally significant features, such as viewpoints, slopes, riparian corridors or sensitive nature areas and/or similar uses deemed appropriate by the Planning Director.

4.1.14.2 Open Space Requirements in Planning Area 8

- A. A combination of usable private and common open space shall be provided in the minimum amount of 1,700 square feet per dwelling unit. Usable private open space includes landscaped yard areas at grades of less than ten percent. Private space associated with each unit on the front, side or rear yards may be counted as open space.
- B. Common open space includes community recreation facilities, pedestrian walkways, greenbelts and other open space. A minimum of 275 square feet per unit shall be provided in common open space that serves as an amenity for the development. Areas over ten percent grade or areas within a landscape maintenance district or landscape areas accenting interior streets cannot be counted toward usable common open space requirements.
- C. Open space associated with each dwelling unit including front, rear and side yards shall be maintained by the individual homeowner. All common areas such as greenbelts, parkways or median landscaping and parks shall be the responsibility of the homeowners association.

4.1.15 Trash Pickup Area

If an attached or detached garage is not provided, trash pickup areas shall be provided at a ration of one (1) trash enclosure for each ten (ten) dwelling units. The trash enclosure shall conform to City standards.

4.1.16 Enclosed Storage Area

If an attached or detached garage is not provided, an enclosed storage area of not less than one hundred (100) cubic feet shall be provided for each dwelling unit. The minimum dimension shall be three (3) feet. The location of the storage area shall be shown on the precise site plan.

4.1.17 Maximum number of dwelling units per multiple dwelling

No multiple dwelling shall have more than two (2) dwelling units.

4.2 Medium High Density Residential Development Area (MHDR)

- 4.2.1 Purpose
- 4.2.2 Permitted Uses
- 4.2.3 Conditional Uses
- 4.2.4 Prohibited Uses
- 4.2.5 Town home Minimum Lot Area
- 4.2.6 Building Height
- 4.2.7 Yards
- 4.2.8 Distance Between Buildings
- 4.2.9 Coverage
- 4.2.10 Walls and Fences
- 4.2.11 Access
- 4.2.12 Off-street Parking
- 4.2.13 Minimum Dwelling Units Area
- 4.2.14 Open Space Requirements
- 4.2.15 Trash Pickup Area
- 4.2.16 Enclosed Storage Area
- 4.2.17 Maximum Horizontal Dimension of a Dwelling
- 4.2.18 Maximum Number of Dwelling Units per Multiple Dwelling

4.2.1 Purpose

The medium high density multiple-residential district is intended as a planned residential district of single or medium-density multiple-family dwellings with one or more dwellings on the same lot. Except as specifically provided elsewhere in this title, any and every building and premises or land in the MHDR district shall be used or occupied and every building shall be erected, constructed, established, altered, enlarged, maintained, or moved into within said MHDR district exclusively and only in accordance with the regulations set forth in this Specific Plan.

4.2.2 Permitted Uses

The following uses shall be permitted in the medium high density residential district, subject to property development standards outlined in the subsequent portion of this Specific Plan:

Any use permitted in the MDR development area subject to property development standards in Section 4.1 of this Specific Plan

- One and two-story single-family attached dwellings, single-family; attached town homes and multi-story condominium dwellings at the density set forth above;
- Apartments or condominiums located over garages or adjacent units;
- Animals to a maximum of two weaned cats and two weaned dogs;
- Cluster housing;
- Home occupations;
- House trailer, used as a construction project office during time of construction when a valid building permit is in force;
- Parks, playgrounds, recreation or open space areas, hiking trails and bicycle trails;

- Small family and large family daycare homes (Note: Large family daycare facilities require a Board of Zoning Adjustment approval.);
- Similar uses permitted by Commission determination (The Commission may, by resolution of record, permit any other uses which it may determine to be similar to those listed above, in conformity with the intent and purpose of this Specific Plan, and not obnoxious or detrimental to the public health, safety and welfare or to other uses permitted in this district. For procedure see Chapter 17.88 of the Corona Municipal Code.

4.2.3 Conditional Uses

Agricultural uses and day car facilities may be permitted subject to Conditional Use Permits provided for in Chapter 17.92 of the Corona Municipal Code.

4.2.4 Prohibited Uses

Commercial and manufacturing uses are prohibited in the medium high density multiple residential districts.

4.2.5 Town home Minimum Lot Area

When subdivided into fee lot, each town home dwelling unit in the MHDR district shall be located on a lot having a minimum area of fourteen hundred (1400) square feet.

4.2.6 Building Height

The height of buildings or structures shall not exceed forty (40) feet from finished grade, provided that in areas of fire department access at front and rear and to windows of living areas, the height shall not exceed thirty feet (30') from finished grade.

4.2.7 Yards

- A. Front setback: The front yard shall be a minimum of fifteen feet (15' except j the following conditions:
- 1) where garages open directly onto an abutting street, in which case the garage setback shall be eighteen feet (18') The garage setback may be reduced to five feet (5') where a minimum of .5 guest parking spaces per unit are provided. Automatic garage openers shall be provided when front garage setbacks are less than twenty feet (20').
 - 2) when garages are accessed from the side yard, the minimum front setback to the garage may be reduced to ten feet (10'),
 - 3) when the rear yard setback has been increased, the front setback may be reduced proportionally to a minimum of ten feet (10').
- B. Side yard setback: Lots shall have a minimum side yard of five feet (5'). Street side yards shall be a minimum of ten feet (10') on local and private streets and fifteen feet (15') on a collector, secondary or major street.
- C. Rear yard setback: Each lot shall have a rear yard of not less than ten feet (10'). Where the unit abuts an alley or parking court which provides access to that unit, the garage setback may be reduced to five feet (5') where automatic garage openers are provided, whether the garage is attached or detached.

4.2.8 Distance between buildings

The minimum distance between single-story dwellings, neither one of which has an entrance opening upon the intervening space, shall not be less than ten feet (10'), and the minimum distance between two-story buildings in all other cases shall not be less than fifteen feet (15'). Projections without openings may be separated a distance often feet (10') above the first floor.

4.2.9 Coverage

Coverage by buildings or structures shall not exceed fifty percent (50%) of the total lot area, except for town home lots where the total lot area coverage by buildings or structures shall not exceed sixty percent (60%) of the sum of each lot and the related open space lot or lots.

4.2.10 Walls and fences

The provisions of Chapter 17.70 of the Corona Municipal Code shall apply, with the exception that solid fences and walls up to six feet (6') in height may be permitted where one lot depth blocks are created adjacent to major and secondary streets, subject to design approval by the Planning Director.

4.2.11 Access

The provisions of Chapter 17.68 of the Corona Municipal Code shall apply.

4.2.12 Off-street parking

- A. The provisions of Chapter 17.76 of the Corona Municipal Code shall apply, with the exception that for studio and one bedroom units that were constructed prior to October 7, 2022, 1.5 spaces per unit shall be provided.
- B. Notwithstanding subsection (A) above, only the parking requirements set forth in CMC Chapter 17.76 shall apply to residential units constructed after October 7, 2022 except that: (i) the reconstruction of residential units constructed prior to October 7, 2022 shall be subject to the parking requirements set forth in subsection (A) above; and (ii) the reconstruction of residential units that are damaged or lost due to fire, flood, wind, earthquake or other calamity of nature shall be subject to the parking requirements in effect at the time of issuance of the initial building permit for the original residential unit.

4.2.13 Minimum dwelling unit area

The minimum dwelling unit size in the MHRD area is eight hundred (800) square feet in each unit, exclusive of open porches, patios and garages.

4.2.14 Open Space Requirements

- A. Private open space shall be established for the personal and exclusive use of the dwelling occupant it is designed to serve. A minimum of one hundred (100) square feet of private open space per dwelling unit shall be required and shall include patios, balconies, porches, decks and/or any other uses deemed appropriate by the Planning Director.
- B. Common open space shall be established for the joint use of this general purpose land, to be shared equally by the dwelling occupants it is intended to serve. The common open space shall be of two categories, active and passive.
 - 1) Active: A minimum of one hundred (100) square feet of active open space shall be provided, and may include swimming pools, tennis courts, tot lots, mini-parks, recreation rooms, child care centers (CUP required) and/or similar uses deemed appropriate by the Planning Director.

Upon Planning Commission consideration of evidence supporting a reduced active recreational need, the Planning Commission may decrease the required active open space area if the private and/or passive open space recreational area is increased in a corresponding area.

- 2) Passive: A minimum of one hundred (100) square feet per dwelling unit of passive open space shall be provided and may include bicycle paths, jogging trails, picnic areas, walkways, areas set aside for the preservation of environmentally significant features, such as viewpoints, slopes, riparian corridors or sensitive nature areas and/or similar uses deemed appropriate by the Planning Director.

4.2.15 Trash Pickup Area

If an attached or detached garage is not provided, trash pickup areas shall be provided at a ration of one (1) trash enclosure for each ten (ten) dwelling units. The trash enclosure shall conform to City standards.

4.2.16 Enclosed Storage Area

If an attached or detached garage is not provided, an enclosed storage area of not less than one hundred (100) cubic feet shall be provided for each dwelling unit. The minimum dimension shall be three (3) feet. The location of the storage area shall be shown on the precise site plan.

4.2.17 Maximum horizontal dimension of a dwelling

No dwelling erected or constructed in the MHDR district shall have a horizontal dimension exceeding one hundred seventy-five (175) lineal feet.

4.2.18 Maximum number of dwelling units per multiple dwelling

No multiple dwelling shall have more than twelve (12) dwelling units.

4.3 High Density Residential Development Area (HDR)

4.3.1	Purpose
4.3.2	Permitted Uses
4.3.3	Conditional Uses
4.3.4	Prohibited Uses
4.3.5	Building Height
4.3.6	Yards
4.3.7	Distance Between Buildings
4.3.8	Coverage
4.3.9	Walls and Fences
4.3.10	Access
4.3.11	Off-street Parking
4.3.12	Minimum Dwelling Units Area
4.3.13	Open Space Requirements
4.3.14	Trash Pickup Area
4.3.15	Enclosed Storage Area
4.3.16	Maximum Horizontal Dimension of a Dwelling
4.3.17	Maximum Number of Dwelling Units per Multiple Dwelling

4.3.1 Purpose

The high density multiple-residential district is intended as a planned residential district of single or multiple-family dwellings with one or more dwellings on the same lot. Except as specifically provided elsewhere in this title, any and every building and premises or land in the HDR district shall be used or occupied and every building shall be erected, constructed, established, altered, enlarged, maintained, or moved into within said HDR district exclusively and only in accordance with the regulations set forth in this Specific Plan.

4.3.2 Permitted Uses

The following uses shall be permitted in the high density residential districts, subject to property development standards outlined in the subsequent portion of this Specific Plan:

- Any use permitted in the MDR and MHDR districts subject to the property development standards outlines in Sections 4.1 and 4.2;
- Multi-story condominium and apartment dwellings at the density set forth above;
- Animals to a maximum of one weaned cat and one weaned dog
- Cluster housing;
- Home occupations;
- House trailer, used as a construction project office during time of construction when a valid building permit is in force;
- Parks, playgrounds, recreation or open space areas, hiking trails and bicycle trails;
- Small family and large family daycare homes (Note: Large family daycare facilities require a Board of Zoning Adjustment approval.);

- Similar uses permitted by Commission determination (The Commission may, by resolution of record, permit any other uses which it may determine to be similar to those listed above, in conformity with the intent and purpose of this Specific Plan, and not obnoxious or detrimental to the public health, safety and welfare or to other uses permitted in this district. For procedure see Chapter 17.88 of the Corona Municipal Code.

4.3.3 Conditional Uses

Agricultural uses and day care facilities may be permitted subject to Conditional Use Permits provided for in Chapter 17.92 of the Corona Municipal Code.

4.3.4 Prohibited Uses

Commercial and manufacturing uses are prohibited in the high density multiple residential districts.

4.3.5 Building Height

The height of buildings or structures shall not exceed forty (40) feet from finished grade, provided that in areas of fire department access at front and rear and to windows of living areas, the height shall not exceed thirty feet (30') from finished grade.

4.3.6 Yards

- A. Front setback: The front yard shall be a minimum of fifteen feet (15'), except for the following conditions:
- 1) where garages open directly onto an abutting street, in which case the garage setback shall be eighteen feet (18'), the garage setback may be reduced to five feet (5') where a minimum of .5 guest parking spaces per unit are provided. Automatic garage openers shall be provided when front garage setbacks are less than twenty feet (20').
 - 2) when garages are accessed from the side yard, the minimum front setback to the garage may be reduced to ten feet (10'),
 - 3) when the rear yard setback has been increased, the front setback may be reduced proportionally to a minimum of ten feet (10').
- B. Side yard setback: Lots shall have a minimum side yard of five feet (5'). Street side yards shall be a minimum of ten feet (10') on local and private streets and fifteen feet (15') on a collector, secondary or major street.
- C. Rear yard setback: Each lot shall have a rear yard of not less than ten feet (10'). Where the unit abuts an alley or parking court which provides access to that unit, the garage setback may be reduced to five feet (5') where automatic garage openers are provided, whether the garage is attached or detached.

4.3.7 Distance between buildings

The minimum distance between single-story dwellings, neither one of which has an entrance opening upon the intervening space, shall not be less than ten feet (10'), and the minimum distance between buildings in all other cases shall not be less than fifteen feet (15').

4.3.8 Coverage

Coverage by buildings or structures shall not exceed sixty percent (60%) of the total lot area.

4.3.9 Walls and fences

The provisions of Chapter 17.70 of the Corona Municipal Code shall apply, with the exception that solid fences and walls up to six feet (6) in height may be permitted where one lot depth blocks are created adjacent to major and secondary streets, subject to design approval by the Planning Director.

4.3.10 Access

The provisions of Chapter 17.68 of the Corona Municipal Code shall apply.

4.3.11 Off-street parking

- A. The provisions of Chapter 17.76 of the Corona Municipal Code shall apply. However, for multi-family residential developments located in the HDR designation, units containing two or more bedrooms that were constructed prior to October 7, 2022 shall be provided with parking at a ratio of two (2) covered spaces for each unit, plus one (1) uncovered guest space for every three units.
- B. Notwithstanding subsection (A) above, only the parking requirements set forth in CMC Chapter 17.76 shall apply to residential units constructed after October 7, 2022 except that: (i) the reconstruction of residential units constructed prior to October 7, 2022 shall be subject to the parking requirements set forth in subsection (A) above; and (ii) the reconstruction of residential units that are damaged or lost due to fire, flood, wind, earthquake or other calamity of nature shall be subject to the parking requirements in effect at the time of issuance of the initial building permit for the original residential unit.

4.3.12 Minimum dwelling unit area

A maximum of ten percent (10%) of the total number of dwelling units allowed in the HRD area may be studio apartments or condominiums having a minimum of four hundred fifty (450) square feet in each unit, exclusive of open porches, patios and garages. The minimum of all other units is six hundred (600) square feet.

4.3.13 Open Space Requirements

- A. Private open space shall be established for the personal and exclusive use of the dwelling occupant it is designed to serve. A minimum of fifty (50) square feet of private open space per dwelling unit shall be required and shall include patios, balconies, porches, decks and/or any other uses deemed appropriate by the Planning Director.
- B. Common open space shall be established for the joint use of this general purpose land, to be shared equally by the dwelling occupants it is intended to serve. The common open space shall be of two categories active and passive.

- 1) Active: A minimum of seventy-five (75) square feet per dwelling unit of active open space shall be provided, and may include swimming pools, tennis courts, tot lots, mini-parks, recreation rooms, child care centers (CUP required) and/or similar uses deemed appropriate by the Planning Director.

Upon Planning Commission consideration of evidence supporting a reduced active recreational need, the Planning Commission may decrease the required active open space area if the private and/or passive open space recreational area is increased in a corresponding area.

- 2) Passive: A minimum of one hundred (100) square feet per dwelling unit of passive open space shall be provided and may include bicycle paths, jogging, trails, picnic areas, walkways, areas set aside for the preservation of environmentally significant features, such as

viewpoints, slopes, riparian corridors or sensitive nature areas and/or similar uses deemed appropriate by the Planning Director.

4.3.14 Trash Pickup Area

Trash enclosures shall be provided per the trash enclosure requirements established under chapter 17.79 of the Corona Municipal Code, or as otherwise approved by the Community Development Director.

4.3.15 Enclosed Storage Area

If an attached garage is not provided, an enclosed storage area of not less than one hundred (100) cubic feet shall be provided for each dwelling unit. The minimum dimension shall be three (3) feet. The location of the storage area shall be shown on the precise site plan.

4.3.16 Maximum horizontal dimension of a dwelling

No dwelling erected or constructed in the HDR district shall have a horizontal dimension exceeding one hundred-fifty (150) lineal feet.

4.3.17 Maximum number of dwelling units per multiple dwelling

No multiple dwelling shall have more than sixteen (16) dwelling units.

Section 5

Processing Precise Plans

5.0 Purpose

The provisions of this section are intended to establish reasonable standards and procedures which are necessary to insure acceptable development and maintenance of condominiums, town homes and/or row houses. The provisions of this section replace and supersede Chapter 17.82, Planned Unit and Condominium Development, of the Corona Municipal Code.

5.1 Processing Precise Plan Required

A Precise Plan shall be prepared, submitted and approved for all residential land uses. Tentative tract maps may be processed independent of the Precise Plan approval process.

5.2 Eligibility

Any project developed pursuant to this section shall meet the following requirements, and any such approvals shall be subject to conditions established under this section.

- A. The land area and dimensions of the project shall not be less than the lot area requirements established by the Specific Plan district designation.
- B. Maximum allowable residential units shall be in accordance with the statistical tabulation tables contained within SP 82-1.
- C. Cluster units in MDR, MHDR AND HDR residential districts may be constructed to permit variety in the location of dwelling units and variety in lot sizes, providing exemplary livability and amenities are insured, and the appearance of the residential neighborhood and street are thereby substantially improved.
- D. All open spaces shall be provided with all required on-site and off-site improvements, in accordance with the current City policy.
- E. Approval of a Precise Plan shall include conditions to assure maintenance of the common areas.

5.3 Conditions of Approval

- A. The proposed Precise Plan development shall conform to the Specific Plan in terms of land use, location, density and standards of development.
- B. All private common access streets, driveways, alleys and other access ways provided for vehicular access and serving cluster units within the project shall be developed in accordance to the private street standards and shall be perpetually maintained by a homeowners association established for that purpose, as well as others.
- C. The Commission or Council may require changes in the design of these common elements as a condition of approval if in their judgment such changes are justified to improve access for fire, police and other emergency vehicles.
- D. The Commission or Council may require and accept dedication of public easements for utilities along or across the common areas of the project.
- E. If in the judgment of the Commission or Council there exists in the project open areas which might at a future time be developed in a manner conflicting with the intent of the district or the objectives of this chapter, the Commission or Council may require as a condition of approval the dedication of a development on these open areas, which shall then be clearly shown on maps of record.

- F. The Commission or Council may require other reasonable conditions which relate to the physical development of the project or to the methods of managing the common elements and providing for perpetual maintenance of these elements.

5.4. Application Requirements

- A. The application for Precise Plan approval under this chapter shall include:
- 1) A Site Plan with at least the following details shown to scale and dimensioned:
 - a. Location and proposed use of each existing and proposed structure, number of stories, height of structures, gross floor area and location of entrances;
 - b. Location and width of all existing and proposed curb cuts, drive lanes, streets, alleys and parking, loading storage areas and refuse pickup areas;
 - c. Location and width of all pedestrian walks and open areas for common use;
 - d. Types of surfacing treatment proposed for all walks and driveways;
 - e. Location of preliminary landscaping elements proposed for the project, including fences, screen planting and walls;
 - f. Location of all existing and proposed physical features, such as hydrants, utility facilities, drainage facilities and recreational facilities.
 - 2) A map showing existing topography of the project area with contours and direction of drainage and grading plans if proposed earth movement is contemplated
 - 3) Preliminary statements describing the Conditions, Covenants and Restrictions (CC&R's) to be enforced to maintain the project, shall be provided at the time of the Precise Plan or tentative tract map approval as required by the City. CC&R's that are to be recorded shall be submitted to the Public Works Director for review and approval prior to recordation.
- B. Prior to the filing of an application for Precise Plan approval, the developer shall submit plans for staff review following the provisions of Corona Municipal Code, Chapter 17.102.

5.5 Administrative Procedures - General

- A. The Planning Commission shall review all plans and proposals within forty-five (45) days after filing. A public hearing on the application shall be held in accordance with the provisions of Chapter 17.92, Conditional Use Permit, of the City of Corona Municipal Code. The Commission may approve, modify, conditionally approve or deny the Precise Plan application.
- B. Any Precise Plan project shall be developed subject to all conditions imposed as part of approval of the Precise Plan. The Planning Director may approve or conditionally approve minor adjustments, provided such adjustments are in substantial compliance with Planning Commission approval.
- C. Effective Date
- 1) Precise Plan approval granted or authorized by the Commission, as provided in this section, shall become effective the day after the next regular City Council meeting after the date of the resolution granting approval, unless the Council takes further action on the application.
 - 2) All decisions of the Commission concerning the merits of the application shall be final unless appealed within the time period prescribed in Section 17.92.130 of the Corona Municipal Code, or unless the Council initiates a review thereof.

- D. Where use is made of the Precise Plan procedure as provided in this Specific Plan, no building permits shall be issued for any development on the subject property or any part thereof until the Planning Commission and/or City Council has approved the Precise Plan.
- E. In any case in which the Precise Plan approval has been granted and a building permit issued within eighteen (18) months after the date of granting thereof, then without further action the approval shall be null and void.
- F. Extensions of time in this section may be granted by the Commission upon showing of good faith effort by the permit tee to comply therewith and failure to so comply by reason of conditions beyond the control of the permit tee.
- G. If, in the opinion of the Planning Director, a proposed revision to an approved Precise Plan is not in substantial compliance with that Plan, then the revision will be submitted to the Planning Commission for approval according to the procedures used for the original Precise Plan, which are contained in Section 5 of the Township Specific Plan.

5.6 Amendments to the Plan

- A. The Commission may recommend approval, denial or modification to a Specific Plan by an affirmative vote of not less than a majority of the total voting members. A copy of any Specific Plan amendment recommended pursuant to this chapter shall be submitted to the City Council accompanied by a statement of the Commission's reasons for such a recommendation.

A Specific Plan shall not be approved or amended unless the following findings are made by the Planning Commission:

- 1) The Plan systematically implements and is consistent with the General Plan.
 - 2) The Plan provides for the development of a comprehensively planned project that is superior to development otherwise allowed under the conventional zoning classifications.
 - 3) The Plan provides for the construction, improvement, or extension of transportation facilities, public utilities and public services required by the long term needs of the project and/or other area residents, and complements the orderly development of the City beyond the project's boundaries.
- B. A Specific Plan text and map may be amended as often as deemed necessary by the City Council. Amendment of a Specific Plan text shall be subject to the same findings as prescribed for initial enactment of a Specific Plan, pursuant to Section 17.53.080 of the Code.
 - C. An amendment to a Specific Plan text and map may be initiated by the City Planning Commission or the Council, or may be initiated by the original applicant for the Specific Plan, or a successor thereto, provided such applicant or successor has, at the time of application for an amendment, a continuing controlling interest in development or management of uses within the are subject to the amendment.
 - D. The City Council may require the person or organization that requests amendments or repeal of a Specific Plan to deposit with the Planning Director, an amount equal to the estimated cost of preparing the amendment or repeal prior to its preparation by the Planning Director.

Section 6

Community Design Concept

6.0 Introduction

The Township Specific Plan contemplates a pleasing appearance and aesthetic quality as fundamental considerations for development. This objective will be achieved by identifying important physical elements of the development which by special design improve the visual aspects of the urban setting.

6.1 Circulation and Streetscape Features

The Township is surrounded by three public arterial and collector roads--River Road, Lincoln Avenue and Harrington Street. The interior private streets will be served by an interior private road through the community and joins the public arterials at primary and secondary access points. The precise location and alignment of this road and the access points will be determined at the time of Precise Plan approval based upon a traffic analysis prepared by a Registered Traffic Engineer and approved by the City Engineer. The primary access into the community shall be from either River Road or Lincoln Avenue. The exact location and alignment shall be determined by a traffic analysis prepared by a Registered Traffic Engineer and approved by the City Engineer. The width of these improvements shall be consistent with the Street Section, Exhibit 3.

All streetscapes for the public roads and internal loop street shall be consistent with the Master Landscape Plan. Street Section Exhibit, Entry Concepts and Street Accent Concept (Exhibits 3 through 7). Where applicable, the minimum parkway right-of-way has been widened to provide additional landscape buffering, and building setbacks have been increased to attenuate noise. The following is a summary of these dimensions.

	Streetscape Widths (from curb)		Building Setbacks (from curb)	
	min.	av.	min.	avg.
River Road	22'	25'	38'	42'
Lincoln Avenue	12'	12'	27'	27'
Harrington (North Side)	17'	20'	30'	30'
Harrington (South Side)	12'	20'	22'	22'
Primary Entry Road	22'	25'	30'	30'
Collector Road	10'	12'	15'	17'

The “streetscape widths” are the distances from the face of curb to the perimeter fence or screen wall. Walls and fences along the interior and primary entry road may be omitted when not required for sound attenuation or privacy.

The primary entry road from the arterial roadways shall also have a six foot (6’) wide landscaped median and entry monuments at each corner. The secondary entries of the loop street from arterial roads shall also have entry monuments at each corner; however, medians will not be required. Entrances from the collector loop street into the development areas will be accepted with decorative stone payers. All landscape materials shall comply with the Master Landscape Plan.

6.2 The Riparian Open Space and Drainage Facility

The focal point of the Township will be the Riparian Open Space. The existing habitat conditions will be replaced with a naturalized channel and a replanted habitat preserve totaling 3.27 acres. The bottom and 2:1 side slopes of the channel will first be covered with “Armorflex”--high tensile-strength concrete blocks tied together with cable to create a flexible mat. The bottom will be seeded with native grasses and bushes, while the middle and lower portions of the side slopes will be hand-planted with mule fat. The upper portion of the slope will be hand-planted with one-gallon willows. Adjoining the channel is a series of flat areas that will be planted with clumps of wetland trees, consisting of various willow specimens, native sycamores and cottonwood. In lieu of chain-link fencing, the tree thickets will be heavily planted with blackberry bushes. No walkways or trails will exist within the greenbelt area, but there will be walkways at the edge and to one side. However, one vehicular and one pedestrian bridge will cross the area, but suitable fencing or landscape barriers will be constructed to discourage the public from entering.

6.2.1 Channel Construction Phasing

There are four steps required to complete the channel and mitigation work:

- 1) Grading for the alignment of the new channel;
- 2) Placing the concrete mats;
- 3) Transplanting the .75 acres of willows; then
- 4) Landscaping the channel and greenbelt.

The initial process will take ninety (90) days to construct, with an additional ninety (90) days to assure that the landscaping has rooted. Furthermore, the grading will require removal of the mule fat plus .75 acres of willows leaving 1.23 acres of willows intact. The removal of the remaining willows will not take place until the U S Department of the Interior, Federal Fish and Wildlife Service is satisfied that the landscaping within the 3.27 acres has been installed, the plant materials have adequately rooted and that the maintenance program is finalized and funded or bonded.

6.2.2 Channel and Riparian Maintenance

Two maintenance problems arise with the naturalized channel and riparian habitat-- maintenance of landscaping and repairs due to major storms. The landscape maintenance program will include irrigation, fertilization, trimming, clearing, replanting when necessary and vector and insect control. Once established, the tree thickets will require very little maintenance other than the annual removal of dead materials that create a fire hazard.

The slope areas and channel bottom will require annual, possibly semi-annual, trimming to reduce the quantity of debris that could clog the drainage system during a major storm. This trimming program would be monitored by the U.S. Department of the Interior, Federal Fish and Wildlife Service to assure rapid re-growth.

Legend



PRIMARY ACCENT TREATMENTS

These accent treatment areas serve as the main project monumentation sites. The design treatments shall consist of interlocking pavers with concrete bands. Project monument signage shall have river rock accents.

SECONDARY ACCENT TREATMENTS

These accent treatment areas serve as local entry statements for individual planning areas or communities. The treatments shall consist of interlocking pavers with concrete bands. Community signage shall have river rock accents.

PRIMARY PARKWAY LANDSCAPE:

The primary parkways are Lincoln Avenue & River Road. The design theme for the streetscapes shall include meandering turf areas and informal plantings that will visually connect the parkways to the native/riparian plantings used throughout the project. The designated street trees shall be installed at a maximum spacing of sixty feet on center within the public right of way. The use of fencing is required for roads and sidewalks shall be installed at the back of the curb. A six (6) foot wide concrete sidewalk shall be installed at the back of the curb continuously.

SECONDARY PARKWAY LANDSCAPE:

The secondary parkway is Harrington Street. Like the primary parkways, the design theme is to be informal with an emphasis on drought tolerance. Because of the width of the parkway, the plantings will not include the use of meandering turf areas. The designated street tree shall be installed at a maximum spacing of sixty feet on center within the public right of way. Where required a masonry wall will be constructed at the property line to serve as a buffer. Large shrubs and vines will be installed in addition to the street trees. A six (6) foot wide concrete sidewalk shall be installed at the back of the curb.

NEIGHBORHOOD PARKWAY LANDSCAPE:

The neighborhood parkways are Annabelle Way & Township Drive. Like the primary parkways, the design theme is to be informal with an emphasis on drought tolerance. These streets will serve as the backbone to the project connecting the entry accents to the neighborhoods and the riparian habitat. The designated street tree shall be installed at a maximum spacing of sixty feet on center within the public right of way. Where required a masonry wall is required for buffers, large shrubs and vines will be installed to reduce the visual impact of the screen. A five (5) foot wide concrete sidewalk shall be installed at the back of the curb on one side of the street.

SOUTH NORCO DRAINAGE CHANNEL LANDSCAPE:

The landscape treatment for this area shall consist of a combination of native plant material to provide for the development of a wildlife habitat within the channel Right of Way. For additional information see the Wetlands Mitigation Plan.

notes

GENERAL LANDSCAPE STATEMENT:

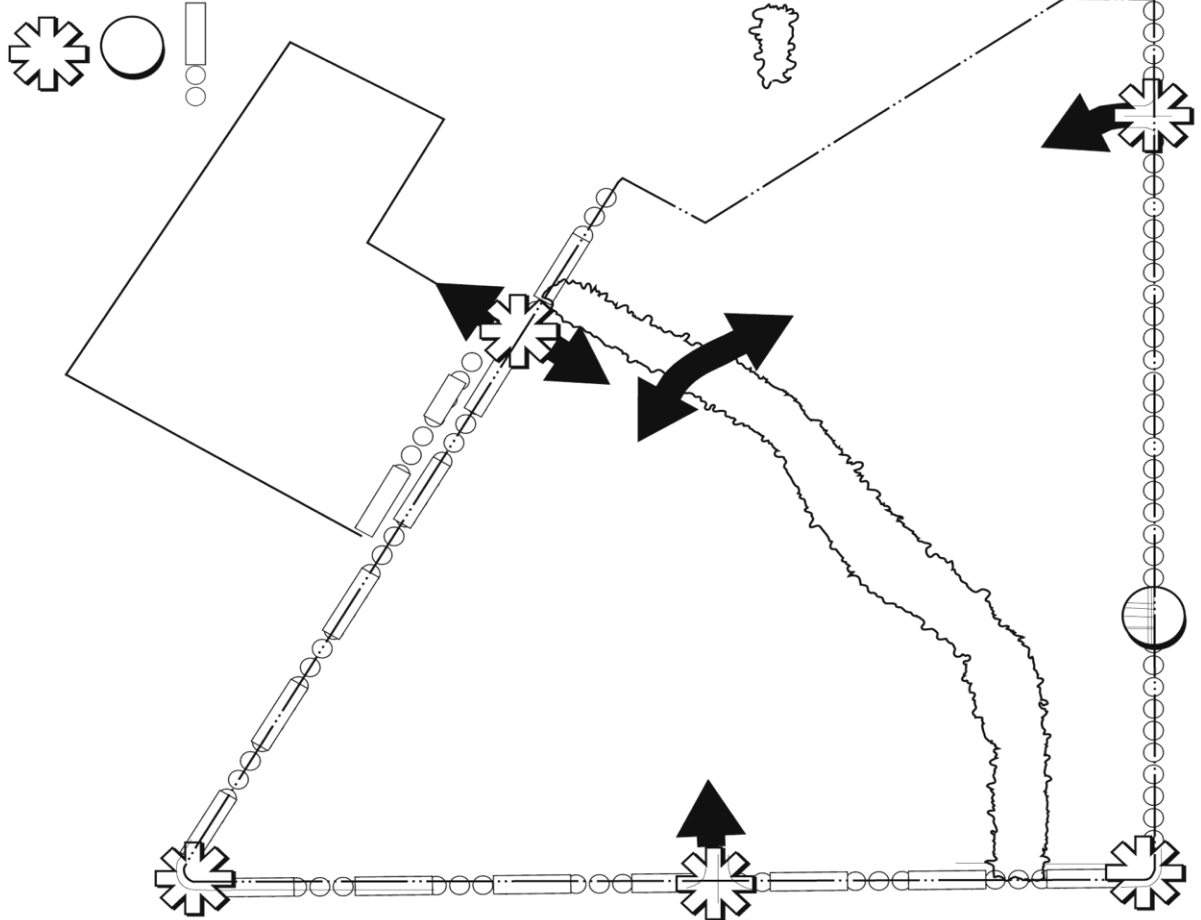
The landscape development for this project shall be based on the use of drought tolerant/native plant material. The plant palette shall include but be limited to the following.

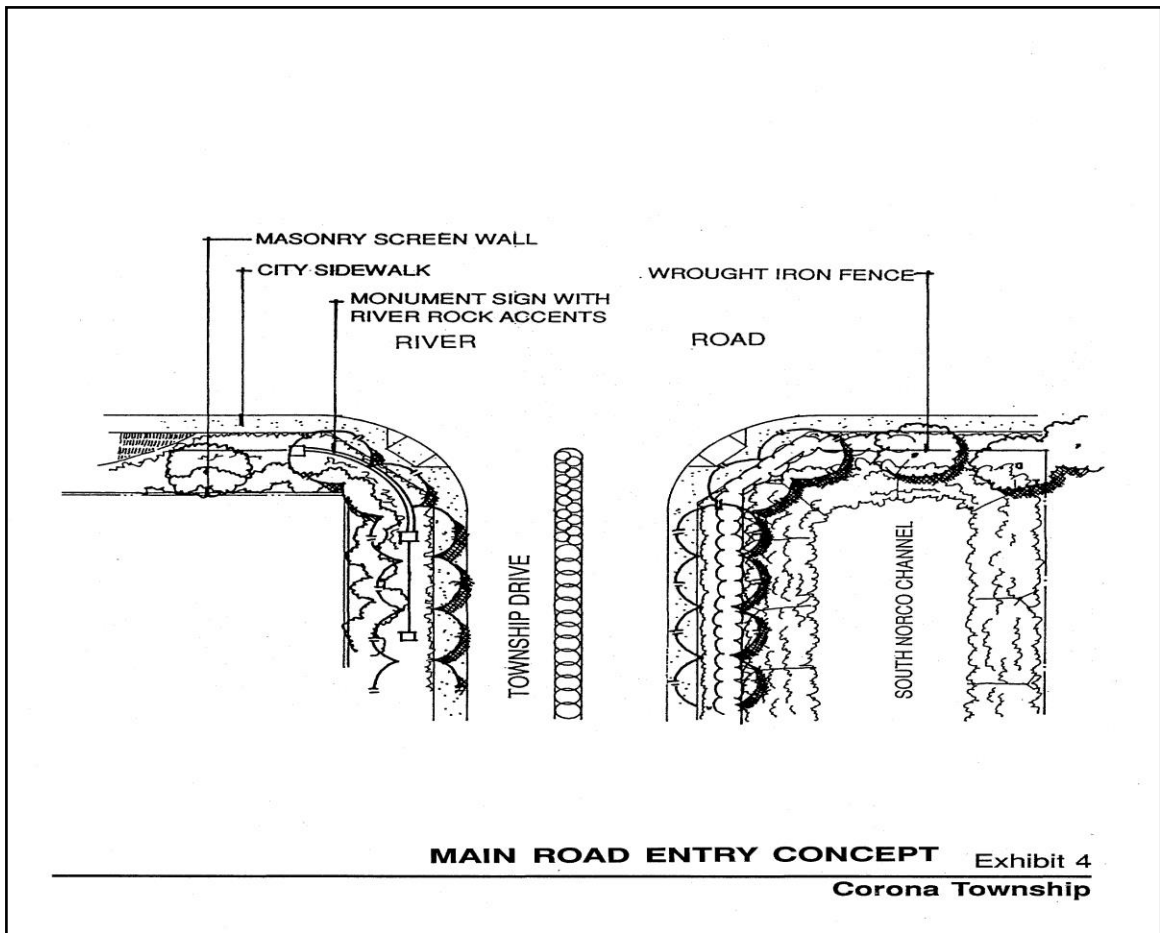
MASTER LANDSCAPE DEVELOPMENT PROGRAM

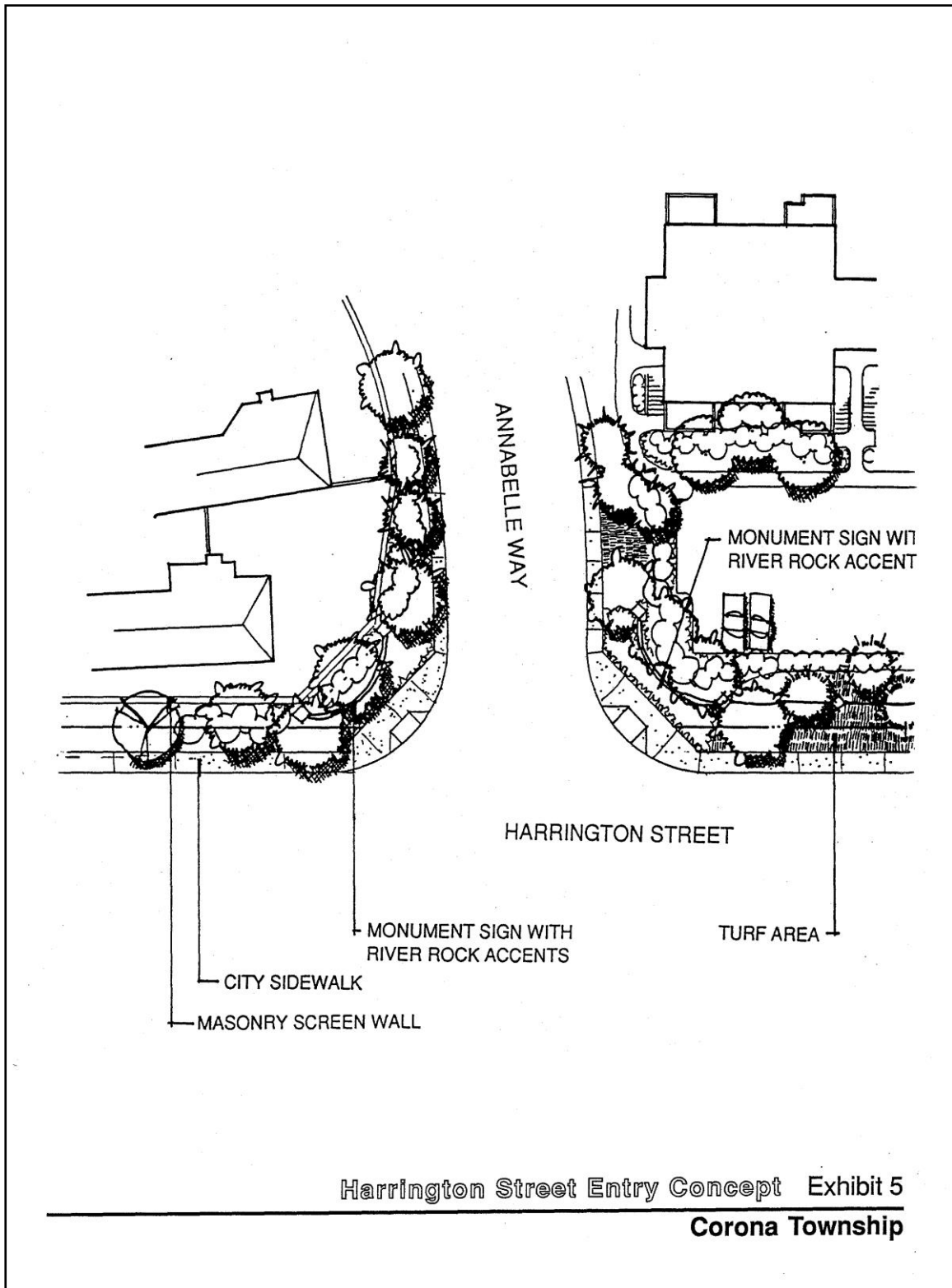
Corona Township Streetscape Exhibit 3

Corona Township

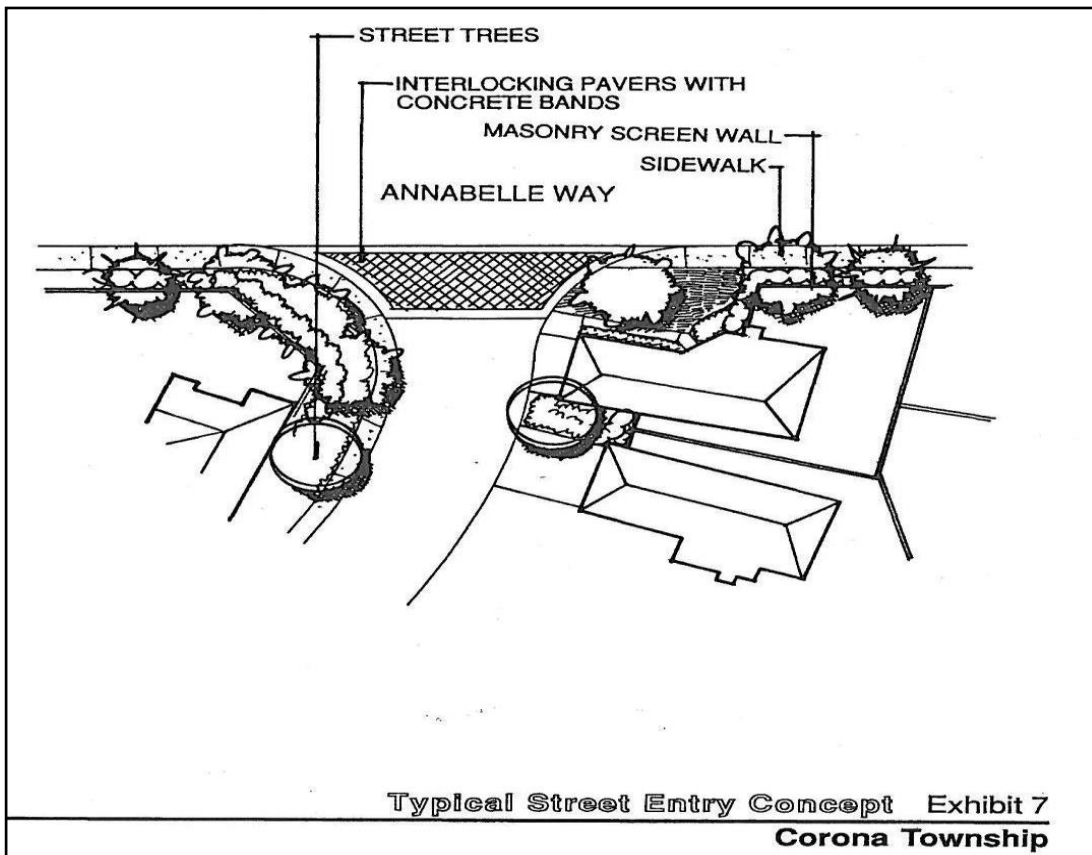
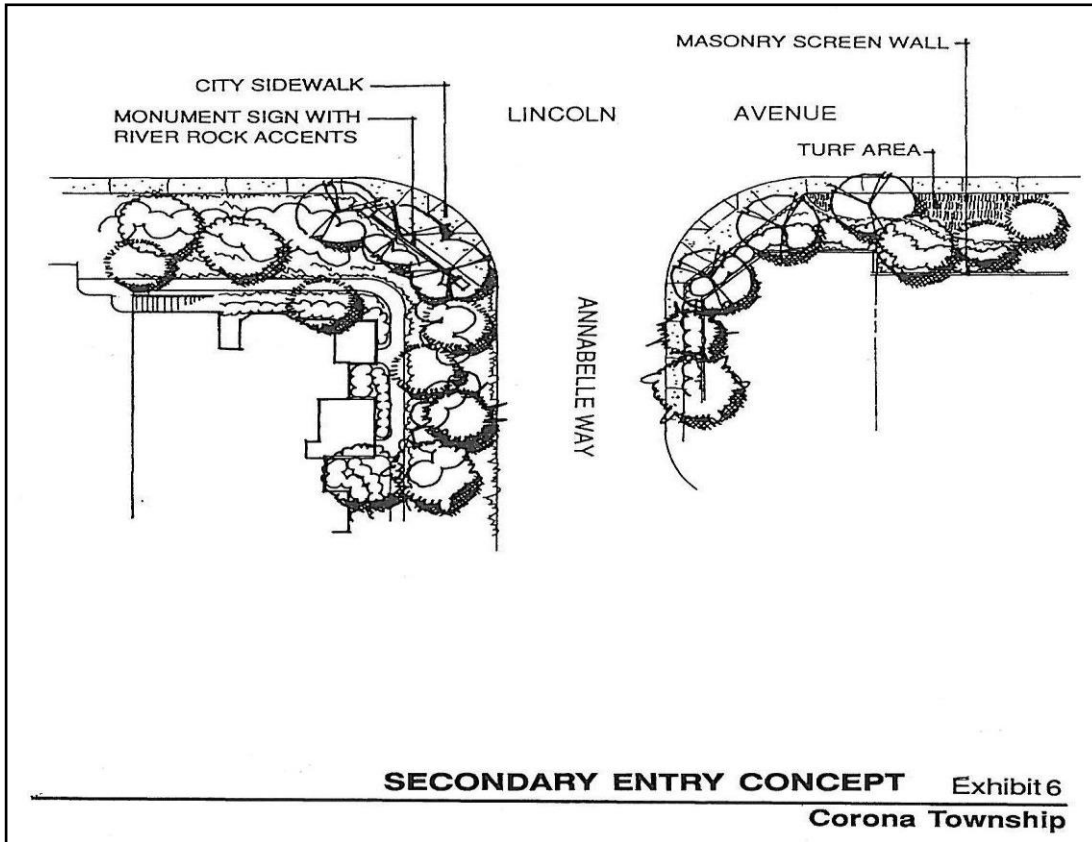
- PARKWAY PLANT PALETTE:**
SHRUBS:
 Alnus glaberrima- Glossy Abelia
 Calliandra haematocephala- Pink Powder Puff
 Escallonia Rubra
 Eucalyptus Pungens- Silverberry
 Euonymus Japonica- Evergreen Euonymus
 Grewia Califfa- Lavender Star Flower
 Ilex cornuta Burford- Burford Holly
 Lantana Sellowiana- Trailing Lantana
 Ligustrum Texanum- Texas Privet
 Moraea Iridoides- Fortnight Lily
 Nandina Domestica- Heavenly Bamboo
 Rapiholepis Species- Indian Hawthorn
 Tecomania Capensis- Cape Honey Suckle
 Xylosma Congestum- Shiny Xylosma
- TREES:**
 Albizia Julibrissin- Bally Acacia
 Alnus Rhombifolia- White Alder
 Jacaranda Mimosifolia- Jacaranda
 Pinus Halepensis- Aleppo Pine
 Populus Fremontii- Fremont Cottonwood
- RECREATION AREA PLANT PALETTE:**
SHRUBS:
 Agapanthus Species- Lily of the Nile
 Aspidistra Elatior- Cast Iron Plant
 Calliandra haematocephala- Pink Powder Puff
 Euonymus Japonica- Evergreen Euonymus
 Euryops Pectinatus
 Grewia Califfa- Lavender Star Flower
 Hienocallis Hybrids- Day Lily
 Moraea Iridoides- Fortnight Lily
 Nandina Domestica- Heavenly Bamboo
 Raphiolepis Species- Indian Hawthorn
 Thyactosperrnum Jasminoides- Star Jasmine
 Tibouchina Species- Day Lily
 Etobonrya deflexa- Bronze Loquat
 Lagerstroemia Indica- Crape Myrtle
 Liquidambar Syracillia- American Sweetgum
 Pyrus Calleryana- Aristocrat Pear
- RESIDENTIAL AREA PLANT PALETTE:**
SHRUBS:
 Agapanthus Species- Lily of the Nile
 Calliandra haematocephala- Pink Powder Puff
 Escallonia Rubra
 Euonymus Japonica- Evergreen Euonymus
 Grewia Califfa- Lavender Star Flower
 Ilex cornuta Burford- Burford Holly
 Hebe Species- Veronica
 Juniperus Conifera- Shore Juniper
 Ligustrum Texanum- Texas Privet
 Liquidambar Syracillia- American Sweetgum
 Moraea Iridoides- Fortnight Lily
 Nerium Oleander- Oleander
 Pittosporum Species- Mock Orange
 Pyrus Calleryana- Aristocrat Pear
 Xylosma Congestum- Shiny Xylosma
- TREES:**
 Alnus Rhombifolia- White Alder
 Brachychiton populneum- Bottle Tree
 Calliandra haematocephala- Pink Powder Puff
 Eucalyptus Rudsii- Desert Gum
 Gleditsia Triacanthos- Shademaster- Honey Locust
 Lagerstroemia Indica- Crape Myrtle
 Liquidambar Syracillia- American Sweetgum
 Pinus Canariensis- Canary Island Pine
 Platanus Racemosa- California Sycamore
- VINES:**
 Clitoria Antaresica
 Distictis Bonina
 Gelsseium Sempervivens
 Hibbertia Volubilis
 Mandevilla Alice Dupont







Harrington Street Entry Concept Exhibit 5
Corona Township



The landscape maintenance program will either be a part of a Master Association or a City-controlled Maintenance District which shall be reviewed and approved by the Directors of Planning, Engineering, and Parks and Recreation. Funding will be assessed to each homeowner. The repair of the channel will be the responsibility of the maintenance entity. A reserve fund will be established and assessment will be collected either monthly, through an association fee, or annually, through a tax assessment. The fund will be established in such a manner that the responsibility can be returned to the Riverside Flood Control District.

The maintenance program shall include a plan to monitor the re-establishment and maintenance of the riparian willow habitat and shall include a schedule of future review, developer responsibilities, maintenance authority and other information necessary to confirm the re-establishment and maintenance of the riparian willow habitat.

6.3 Active and Passive Recreation

Active and passive recreational opportunities will be an extension of the riparian open space. Amenity requirements shall be in accordance with Sections 4.1.14, 4.2.14 and 4.3.13. In the event adjoining development areas are combined and developed as one, then recreational amenities may also be combined.

6.3.1 Pedestrian Greenbelts

Pedestrian greenbelts will be a minimum of twenty feet (20') wide. Walkways will connect activity areas in various neighborhoods. Pedestrian walkways will be a minimum of six feet (6') wide. Residential units will be screened from walkways with plant material. Activity zones will be provided along routes that are both active and passive. Winding streambeds and naturalistic plantings will be used as a design theme where appropriate.

6.4 Walls and Fences

6.4.1 Rear and side yard fences

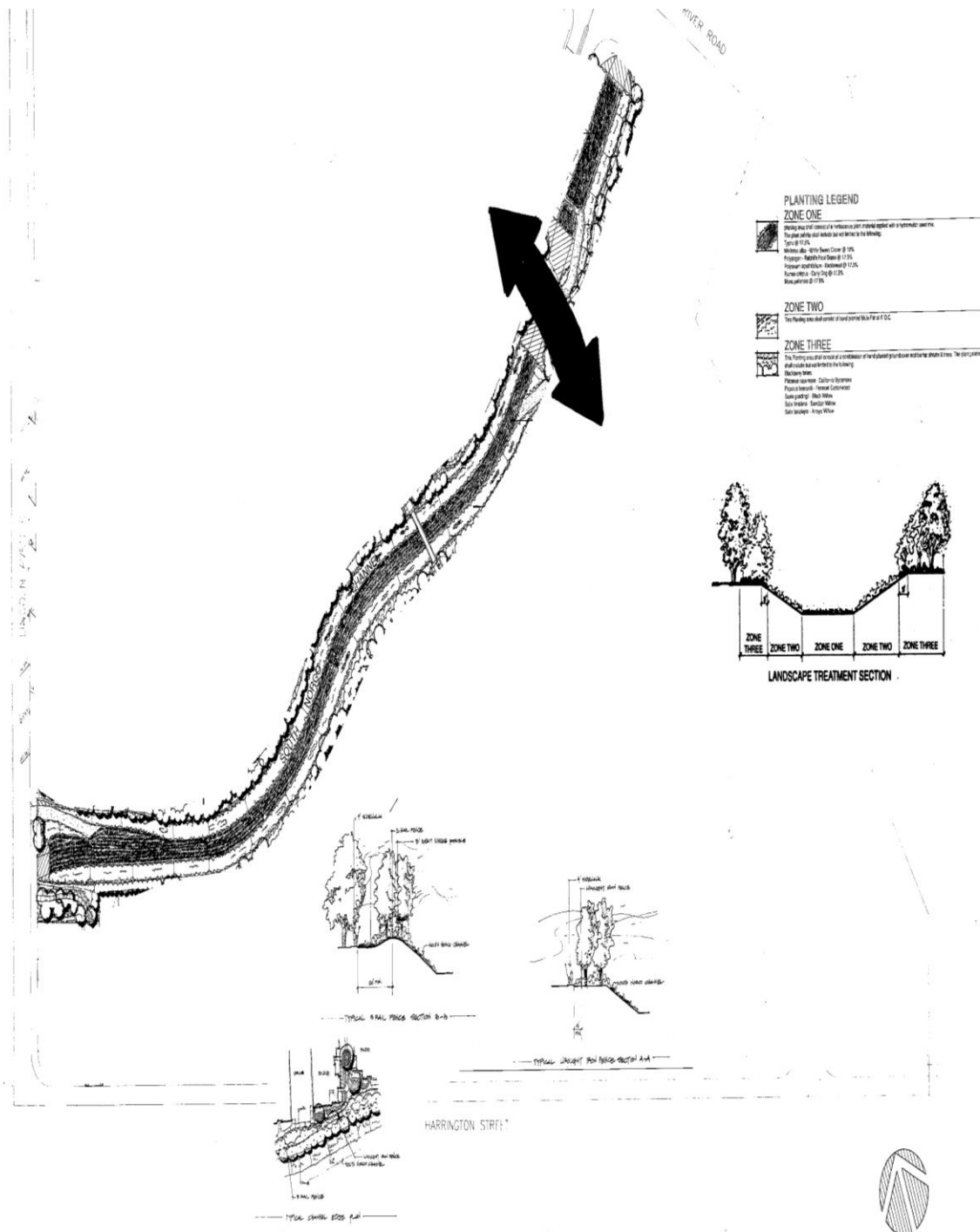
All future tract fencing shall be provided for all rear and side yards with material, location and height to be approved by the Planning Director.

6.4.2 Flood Control Fencing

Wrought iron fencing of 6 feet in height shall be utilized for security purposes along the open space corridor adjacent to the South Norco Flood Control Channel.

6.4.3 Perimeter Fencing

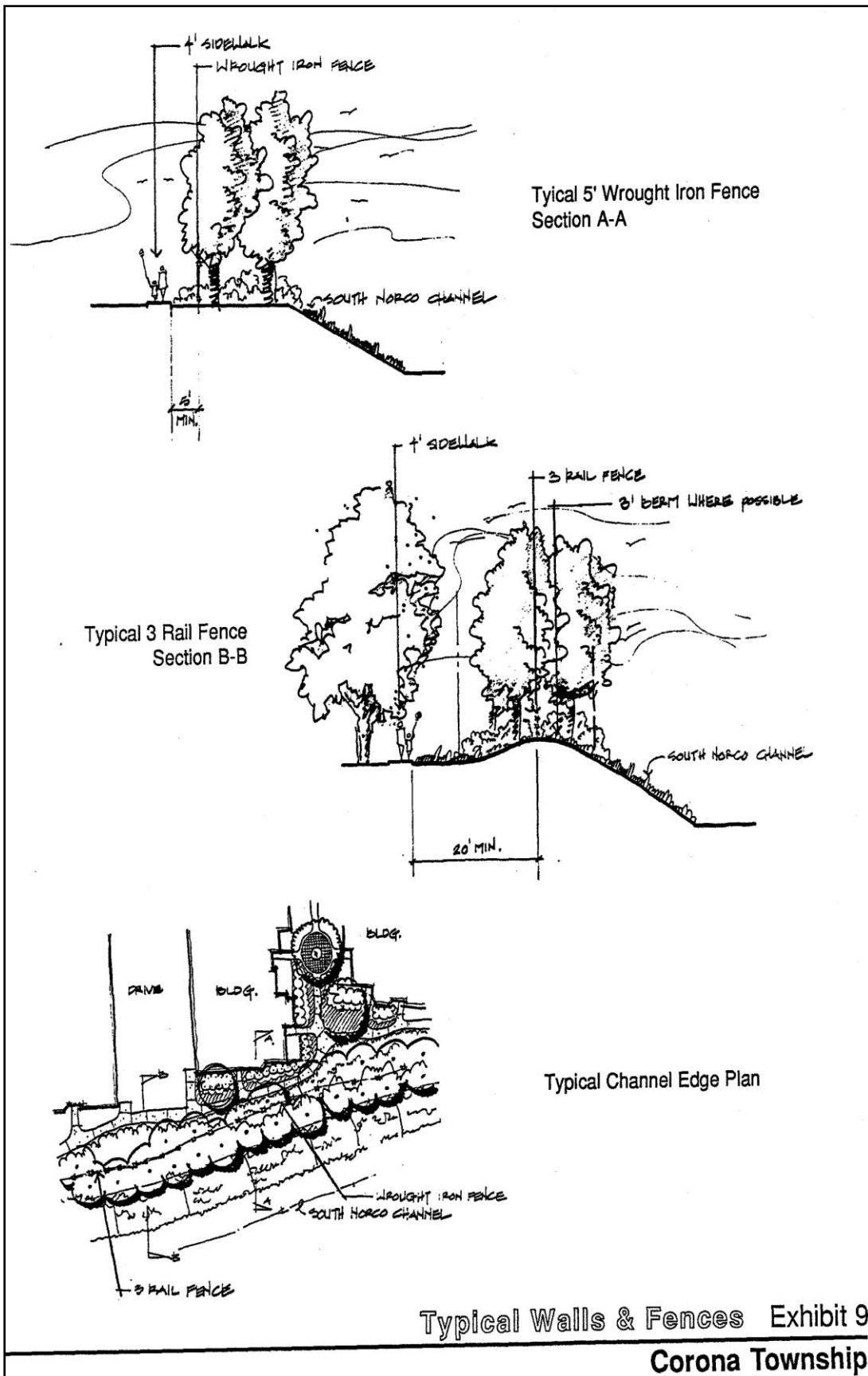
Perimeter Fencing along arterial roads shall be masonry. It is intended that the wall have a decorative design, providing clustered landscaping, as shown on the Master Landscape Plan. Precise design shall be reviewed and approved by the Planning Director so as to be decorative and have some measure of articulation.



WETLANDS MITIGATION CONCEPT PLAN

Landscape Concept for Riparian Habitat Exhibit 8

Corona Township



Typical Walls & Fences Exhibit 9
Corona Township

Section 7

Subdivision Design Standards

7.0 General Application

The provisions of these sections shall be the standards for subdivisions in the Township Specific Plan.

7.1. Effect on Conflicting Provisions

Whenever the provisions of this section permit greater flexibility and establish regulations that are imposed or required by Title 16, the provisions of this section shall govern. In all other cases, refer to Title 16, Subdivision Ordinance, and City of Corona.

7.2. Street Design Standards

All streets shall be designed in accordance with the City of Corona private street standards, as established by the Director of Public Works and in effect at the time of filing of the tentative map.

7.3 Lots and Blocks

Lots and blocks shall have dimensions suitable to the land uses proposed:

- 1) Residential blocks shall be two lots deep in width, with two exceptions. Residential blocks along major and secondary highways may be one lot deep.
- 2) For condominium purposes, residential blocks may be one lot deep when individual dwelling unit access is provided internally.

7.4 Architectural Design Elements

The architecture throughout the Township will provide a sense of uniformity. The exterior features will have a contemporary ranch look with traditional styling or multi-story with an influence of Victorian features.. These features are exemplified in the roof, window, door and facing elements as illustrated in Exhibits 10 through 13.

Roofs are distinguished by their pitch and materials. No roof shall have a pitch less than 4:12, but not greater than 7:12. Gabled roofs with dormer windows will dominate the roof architecture. Materials will assimilate wood shake, with either heavy asphalt or lightweight concrete shingles.

Windows and doors shall have wood or simulated wood accents to set off their character, typical of French windows. All front and rear windows and doors shall have wood treatment surrounding the openings.

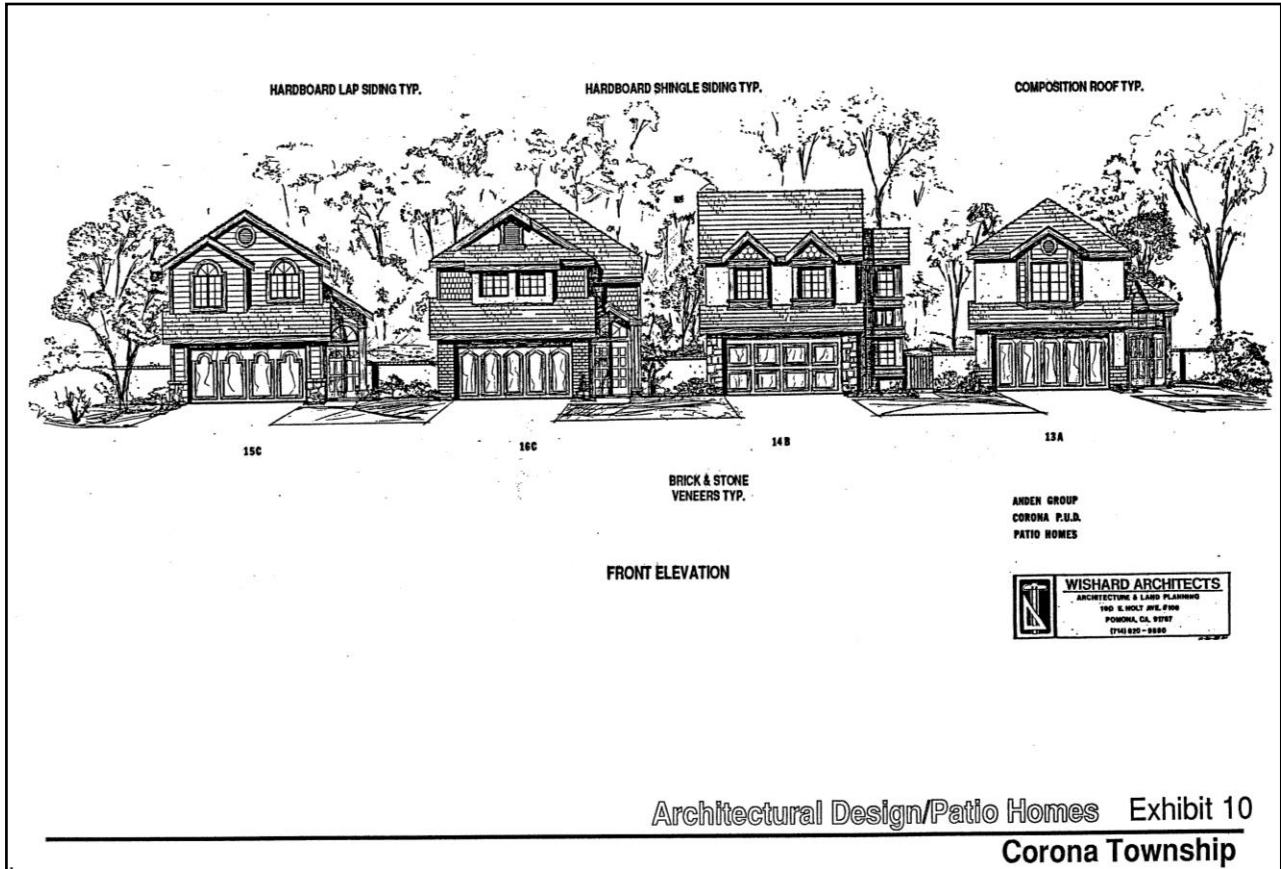
Facing materials are intended to break up stucco massing in those portions of the building visible from the street. Typical materials are those with the appearance of stone, brick, wood siding wood shingles and heavy timber.

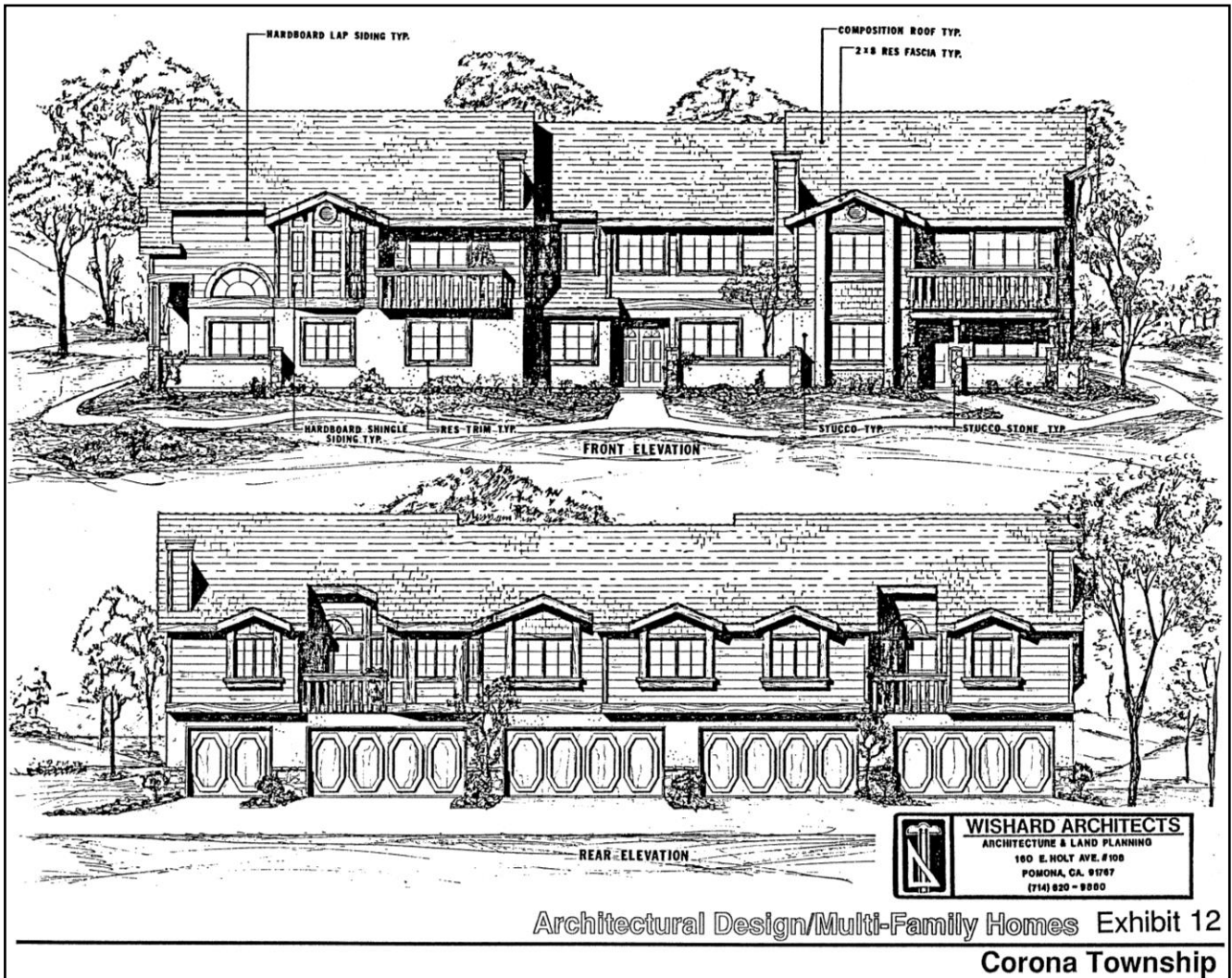
These architectural elements shall be utilized in all areas of the Township.

7.5 Landscape Design Elements

The Township will be unified through the landscape design elements. The overall character will be a rustic, “woody” environment, with the central riparian open space as the focal point. California sycamores and cottonwoods will be the primary trees used throughout the community, with riparian groundcovers and bushes used as backdrops around active areas and buildings. Hardscape accents will utilize stone, brick, wood siding and heavy timber, particularly in the fencing and entry monument elements.

Tables 1 through 3 list other plant materials that can be added to the riparian plant palette. They are intended to accent and enhance the “woody” character of the Township.





Section 8

Phasing

8.0 Introduction

The implementation of the Township Specific Program requires the coordination of many capital improvements with the construction of the housing units. The phasing program described here assures such coordination will take place at the appropriate point in the developmental evolution of the project without requiring premature improvements.

8.1 Phasing Program

The following is a list of the improvements necessary to provide adequate services to each phase of development. These improvements will be constructed prior to the occupancy of any residential units in the phase to which they are related

Phase IA/IB - Development Areas 1, 2 and 3 (South Meadow), consisting of three (3) units (Note: All Phase 1 work has been completed.)

Circulation: The street improvements will be completed, together with all utilities, median landscaping, widened parking landscaping, perimeter walls and entry features for:

- River Road from Cota Street, westerly 1,680 feet
- Harrington Street from Cola Street, westerly 1,050 feet
- Cota Street from River Road, southerly to Harrington

Sewer: The sewer main within Annabelle Way and Lincoln Avenue (from Annabelle to Harrington), necessary to serve Development Areas 4 and 5 will be constructed).

Water: A cross-loop connection within Township Drive and Annabelle Way from the existing water mains within River Road and Lincoln Road will be constructed..

Drainage: An onsite sub-surface conduit systems within Annabelle Way and along the South Norco Channel, necessary to serve Development Areas 4 and 5 will be constructed. The box culverts to widen River Road and Lincoln Avenue at the South Norco Channel crossings will also be constructed. In addition, the grading and temporary channel protection to realign the South Norco Channel, plus transplanting of existing trees will be permitted during this phase of construction. At the time of development of Phase 2 improvements, the design for the ultimate improvements of the South Norco Channel shall have been completed. A parcel of land necessary for the ultimate construction and improvement of the channel shall be reserved in favor of the City or County Flood Control District plus security to assure its construction shall be provided with an amount and form approved by the City Engineer.

Phase 2 - Development Areas 4 and 5 (North Meadow), consisting of approximately 235 units

Circulation: The street improvements, together with all utilities, median landscaping, widened parkway landscaping, perimeter walls and entry features for the following will be completed:

- River Road completion from Lincoln Avenue, easterly to Phase I
- Lincoln Avenue from River Road, southerly to Harrington Street
- Annabelle Way North (internal loop street), from Lincoln Avenue to Township Drive
- Township Drive (main entry from River Road)

Sewer: The sewer main within Annabelle Way and Lincoln Avenues (from Annabelle to Harrington), necessary to serve Development Areas 4 and 5 will be constructed.

Water: A cross-loop connection within Township Drive and Annabelle Way from the existing water mains within River Road and Lincoln Road will be constructed.

Drainage: An on-site sub-surface conduit systems within Annabelle Way and along the South Norco Channel, necessary to serve Development Areas 4 and 5 will be constructed. The box culverts to widen River Road and Lincoln Avenue at the South Norco Channel crossings will also be constructed. In addition, the grading and temporary channel protection to realign the South Norco Channel, plus transplanting of existing trees will be permitted during this phase of construction. At the time of development of Phase 2 improvements, the design for the ultimate improvements of the South Norco channel shall have been completed. A parcel of land necessary for the ultimate construction and improvement of the channel shall be reserved in favor of the City or County Flood Control District plus security to assure it shall be provided with an amount and form approved by the City Engineer.

Phase 3- Development Areas 6 and 7 (Central Meadow), consisting of approximately 225 units

Circulation; Street improvements, together with all utilities, median landscaping, widened parkway landscaping, perimeter walls and entry features for the following will be completed.

- Harrington Street from Phase I, westerly to Lincoln Avenue
- Annabelle Way South (internal loop street) from Township Drive to Harrington

Sewer: The sewer main within Annabelle Way, necessary to serve Development Areas 6 and 7 will be constructed.

Drainage: The on-site sub-surface conduit system within Annabelle Way and along the South Norco Channel, necessary to serve Development Areas 6 and 7 will be constructed. In addition, all permanent channel improvements, including landscape and hardscape improvements, within the South Norco Channel shall be completed as a part of this phase of development together with all final dedications, drainage easements, and maintenance easements completed.

Phase 4 – Development Area 8, consisting of approximately 50 units.

Circulation: Street improvements, together with all utilities, median landscaping, widened parkway landscaping, perimeter walls and entry features for the following will be completed.

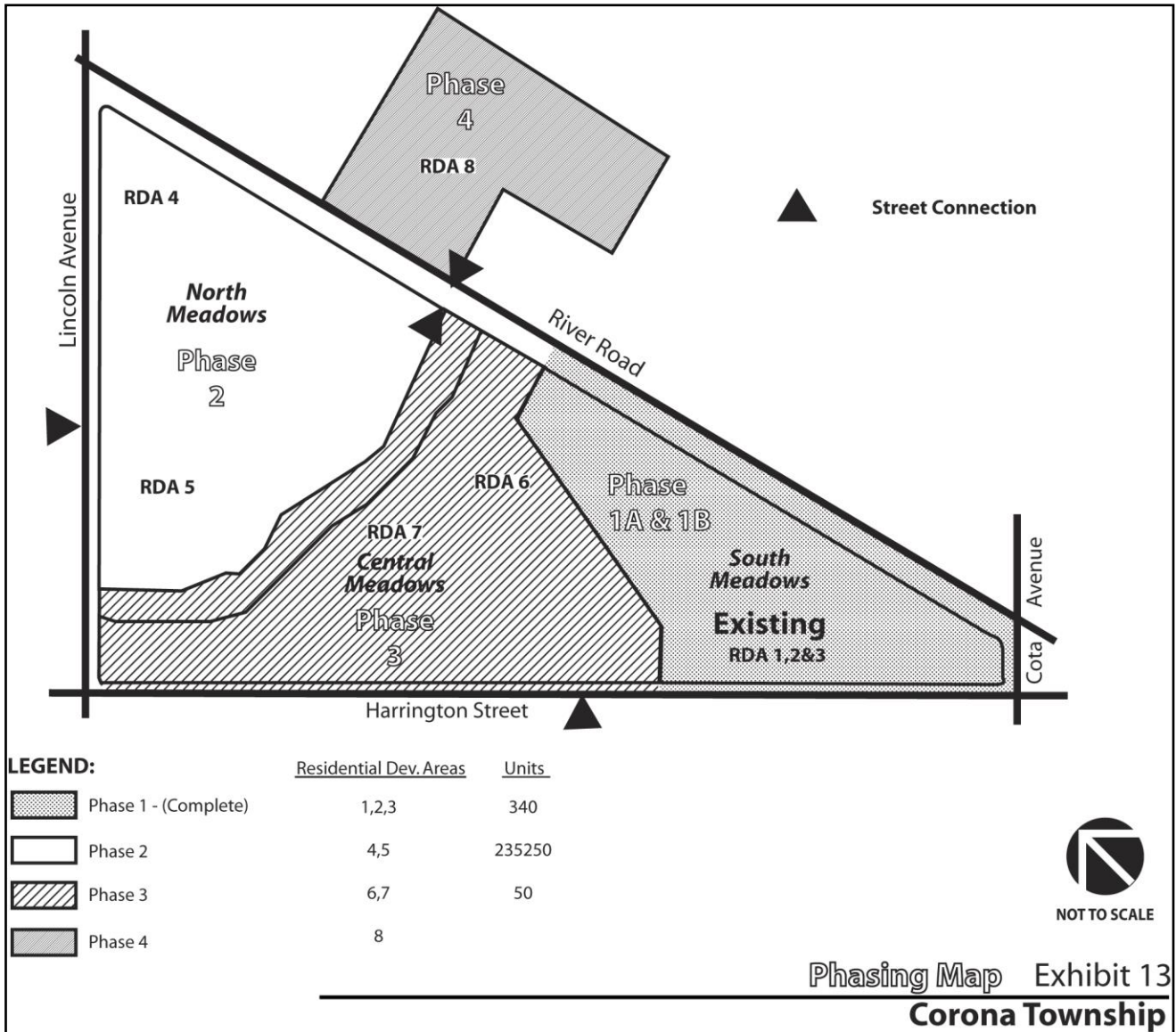
- River Road along Area 8 property frontage
- Project entrance road (shared with Church Property).

Sewer: The sewer within Area 8 and connection to sewer within River Road will be constructed.

Drainage: The onsite sub-surface conduit system within interior roads of Area 8 and connecting to Storm Sewer line in River Road necessary to serve Development Area 8.

8.2 Construction of Public Facilities

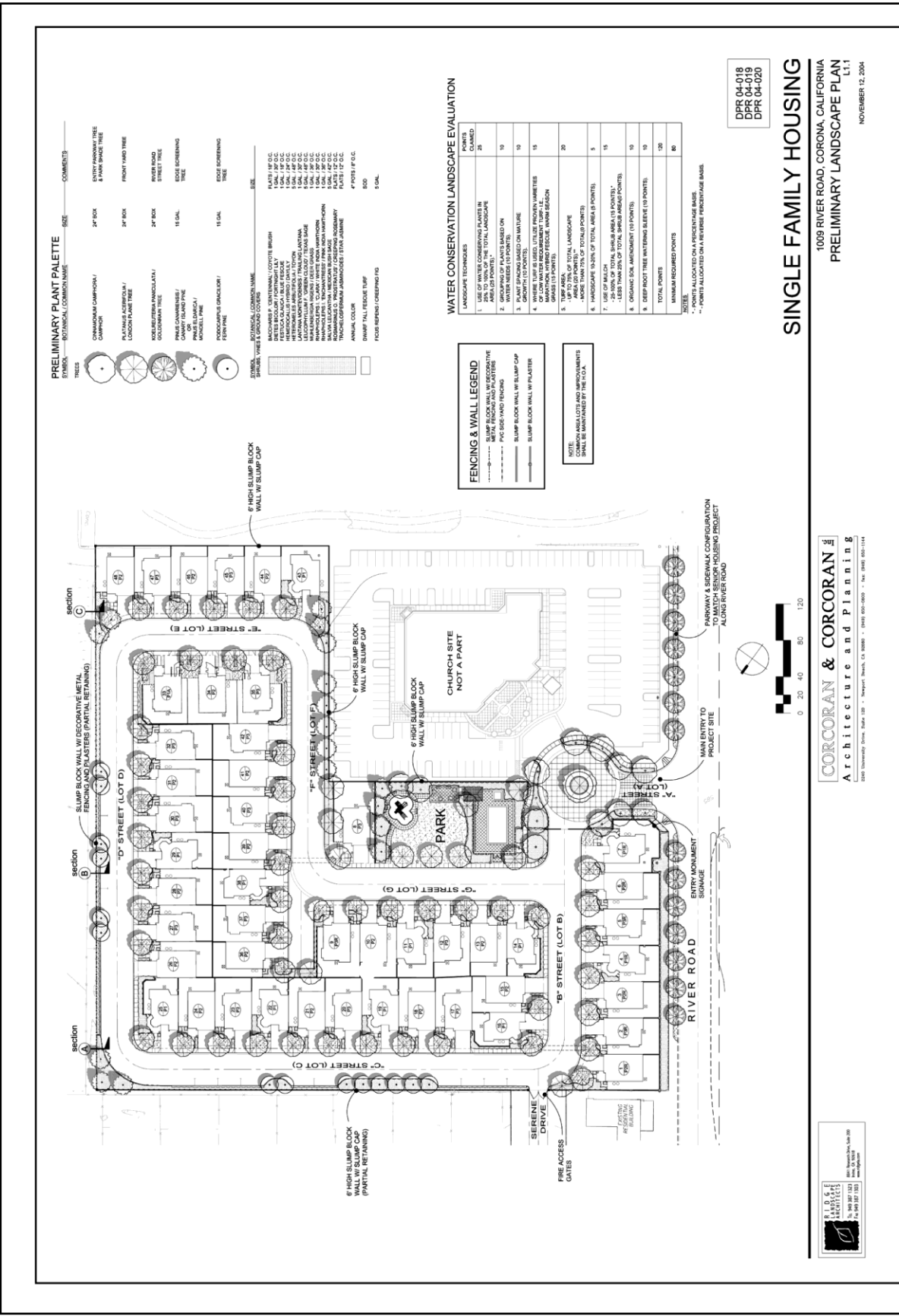
The construction and maintenance of River Road, Lincoln Avenue, Harrington Street and the Riparian Open Space and Drainage Facility may be financed through public bonds resulting from the formation of a Mello Roos or Assessment District. If any or all of these improve have not been completed as provided for under Section 8, Phasing, then the City of Corona may precede with the formation of a Mello Roos or Assessment District to assure their completion.



Following are exhibits that refer exclusively to Area 8:



Illustrative Plan of Single Family Area 8 Exhibit 14
Corona Township



PRELIMINARY PLANT PALETTE

TREES	BOTANICAL COMMON NAME	SIZE	COMMENTS
	ORANGEADO CAMPION / CAMPION	24" BOX	ENTRY PARKWAY TREE & PARK SHADE TREE
	PLACUNDA ANTHELLA / CAMPION	24" BOX	FRONT YARD TREE
	AGLONOTIA PANICULATA / GOLDENROD TREE	24" BOX	RIVER ROAD STREET TREE
	PRUNUS CANADENSIS / CHERRY OR MANHATTAN PINE	18 GAL	EDGE SCREENING TREE
	PROSOPIS SPINOSA / ACACIA	18 GAL	EDGE SCREENING TREE

SHRUBS, VINES & TROPICAL CONTAINERS

BOTANICAL COMMON NAME	SIZE
BACKHOUSIA SPINOSA / COYOTE BRUSH	1 GAL
PERILOSA CALYX / BOUTELOUSE	1 GAL
HELIOPSIS SCOPULORUBRA / SUN SPURGE	1 GAL
MELISSA LONICERIFOLIA / MONARDELLA	1 GAL
TRICHOPLOPERIS GAMBOSIENSIS / STAR JASMINE	1 GAL
ANTHURUS	1 GAL
PHLOX	1 GAL
DIANTHUS	1 GAL
IMPATIENS	1 GAL
ROSE	1 GAL
DRUMMETT CREEPING FIG	1 GAL
FORSYTHIA	1 GAL

WATER CONSERVATION LANDSCAPE EVALUATION

LANDSCAPE TECHNIQUES	POINTS
1. USE OF WATER CONSERVING PLANTS IN TOTAL LANDSCAPE AREA (50 POINTS)	25
2. GROUPING OF PLANTS BASED ON GROWTH (10 POINTS)	10
3. PLANT SPACING BASED ON MATURE GROWTH (10 POINTS)	10
4. USE OF MATURE TREES AND SHRUBS TO PROVIDE SHADE (10 POINTS)	10
5. USE OF PERENNIALS (10 POINTS)	10
6. LANDSCAPE (5% OF TOTAL AREA) (8 POINTS)	5
7. USE OF MULCH (15 POINTS)	15
8. ORGANIC SOIL AMENDMENT (10 POINTS)	10
9. DEEP ROOT TREE WATERING SCHEDULE (10 POINTS)	10
TOTAL POINTS	100
MINIMUM REQUIRED POINTS	80

6" HIGH SLUMP BLOCK WALL W/ SLUMP CAP

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SINGLE FAMILY HOUSING
 1009 RIVER ROAD, CORONA, CALIFORNIA
 PRELIMINARY LANDSCAPE PLAN
 L11
 NOVEMBER 12, 2004

Exhibit 15
Corona Township

CORCORAN & CORCORAN
 Architecture and Planning
 5840 Normandie Street, Suite 100 • Newport Beach, CA 92659 • Tel: (949) 551-1144

U.S. GREEN BUILDING COUNCIL
 LEED AP Accredited Professional
 500 New York Ave, Suite 1000
 Washington, DC 20001
 Tel: (202) 775-1100

DRP 04-018
DRP 04-019
DRP 04-020





Project Entry Enlargement
Preliminary Landscape Plan Exhibit 16
Corona Township



SCHEME 1B

SIDING
 Color Name: Coral Beach
 Color Number: 7969

STUCCO
 Color Name: Buff Bluff
 Color Number: 09113

FRONT DOOR
 Color Name: Jangle
 Color Number: 38

GARAGE, TRIM & FASCIA
 Color Name: Terrific Tan
 Color Number: 0781

WINDOW & ACCENT
 Color Name: Mocha Mocha
 Color Number: 0782

TUMBLER (USED BRICK)
 Color Name: Stone
 Color Number: 0779

SCHEME 1C

BOARD & BATTEN
 Color Name: Mocha Mocha
 Color Number: 0782

STUCCO
 Color Name: Mocha Mocha
 Color Number: 0782

FRONT DOOR
 Color Name: Jangle
 Color Number: 38

LANDSCAPE OVERHANG DRYSACK
 Color Name: Drapewash
 Color Number: 64

TRIM & FASCIA
 Color Name: Terrific Tan
 Color Number: 0781

GARAGE, WINDOW, DOOR & ACCENT
 Color Name: Mocha Mocha
 Color Number: 0782

VALCO
 COMPANY
 2401 COMMERCE
 ANAHEIM, CA 92806
 T 714-940-0086 x19
 F 714-940-0087

CORCORAN & CORCORAN
 Architecture and Planning
 1240 University Drive, Suite 125 • Newport Beach, CA 92660 • (949) 450-0000 • Fax: (949) 450-1344

1b FRONT

1c FRONT

Corona River Road Project
 Corona, California

Building 1 Elevations
 Single Family Residences Exhibit 18
 Corona Township

SCHEME 2B

- SHINGLES**
Mfg: Vista Paint
Color Name: Warm White
Color Number: E195
- STUCCO**
Mfg: Vista Paint
Color Name: Fresh Stucco
Color Number: 09N154
- FRONT DOOR**
Mfg: Vista Paint
Color Name: Neighborhood
Color Number: 38
- TRIM & FASCIA**
Mfg: Vista Paint
Color Name: Warm White
Color Number: E195
- GARAGE DOOR**
Mfg: Vista Paint
Color Name: Fresh Stucco
Color Number: E192
- RYER ROCK**
Mfg: Vista Paint
Color Name: Neighborhood
Color Number: 38

SCHEME 2C

- SHINGLES**
Mfg: Vista Paint
Color Name: Coal Beach
Color Number: 09N154
- STUCCO**
Mfg: Vista Paint
Color Name: Neighborhood
Color Number: 09N133
- FRONT DOOR**
Mfg: Vista Paint
Color Name: Neighborhood
Color Number: 38
- TRIM & FASCIA**
Mfg: Vista Paint
Color Name: Neighborhood
Color Number: E192
- LEDGESTONE/BOARD BRESTACK**
ANTIQUE BUFF
Color Number: 28
- BRIDGE WINDOW & ACCENT**
Mfg: Vista Paint
Color Name: Mature Mahogany
Color Number: E192

CORCORAN & CORCORAN
Architecture and Planning
2340 Thompson Street, Suite 110 • Newport Beach, CA 92660 • (949) 542-6888 • Fax (949) 443-1414

VALEO
2401 GUYMOUTH #230
Anaheim, CA 92806
T 714-940-0086 x119
F 714-940-0087

2b FRONT **2c FRONT**

Corona River Road Project
Corona, California

Building 2 Elevations
Single Family Residences Exhibit 19
Corona Township

3b FRONT

3c FRONT

SCHEME 3B
 TRIM & FASCIA
 MFC Vinyl Paint
 Color Number: 8579
 ROYER ROCK
 ORBY GRANITE
 Concrete Stone

SCHEME 3C
 TRIM & FASCIA
 MFC Vinyl Paint
 Color Number: 8581
 GARAGE WINDOW, DOOR & ACCENT
 MFC Vinyl Paint
 Color Number: 8579
 TUMBLED UND BRICK
 Concrete Stone

VALEO
 COMPANYS
 2401 E Katella Ave #220
 Anaheim, CA 92806
 T 714-940-0087
 F 714-940-0087

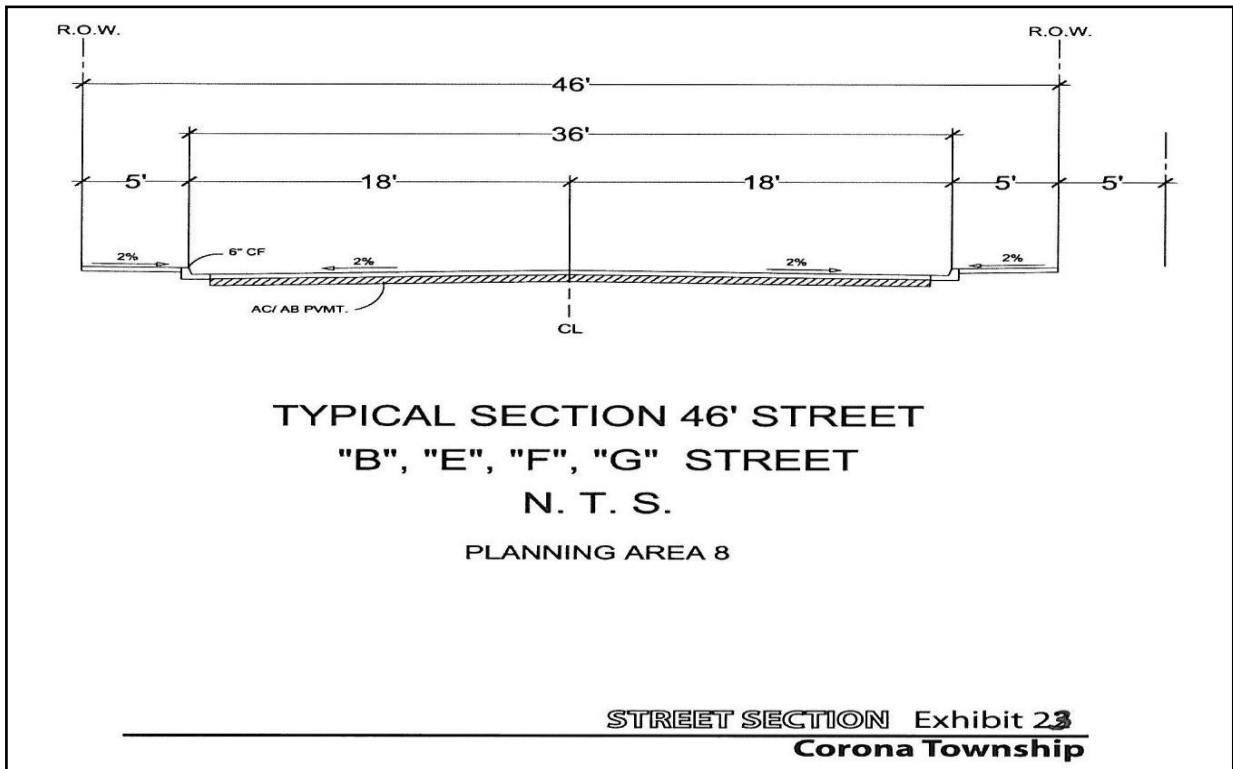
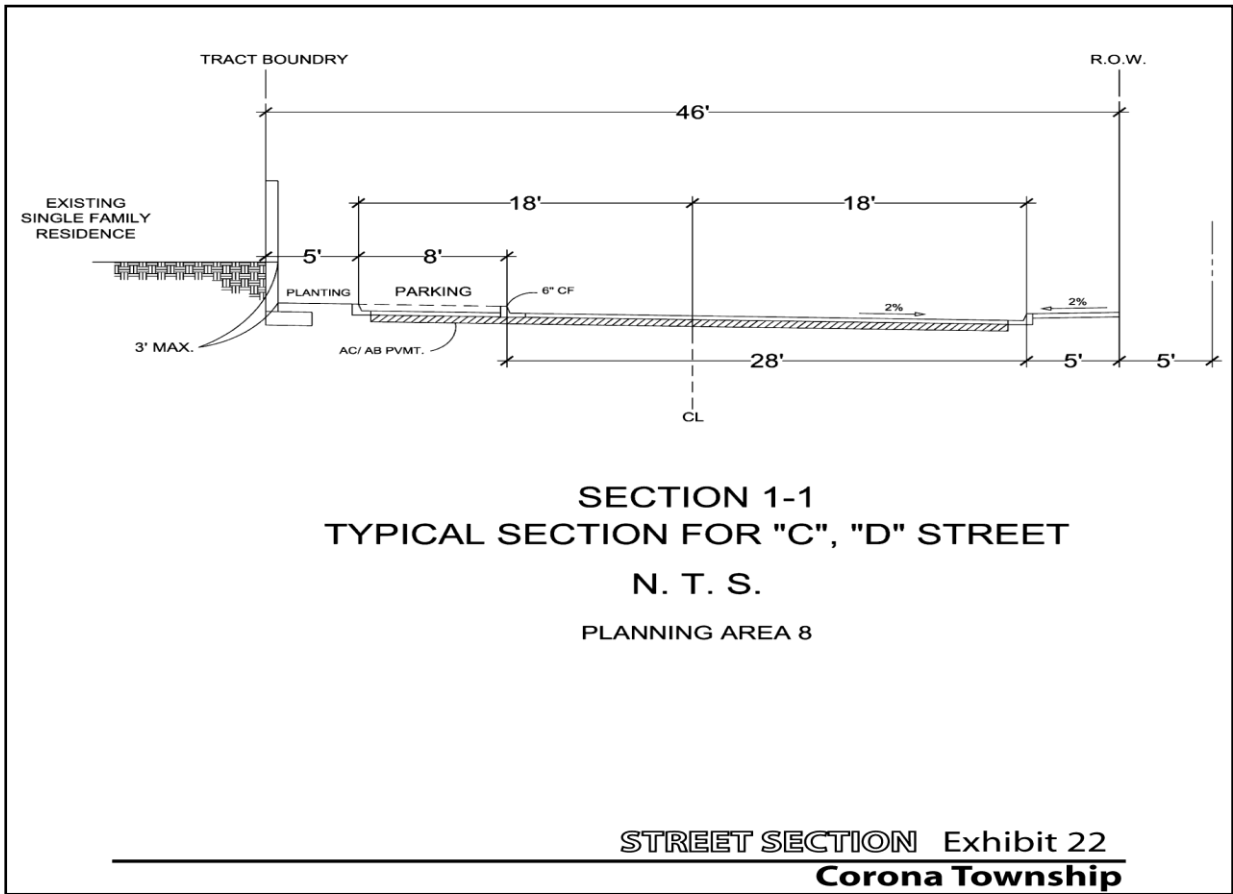
GORCORAN & CORCORAN
 Architecture and Planning
 2000 University Drive, Suite 100 • Newport Beach, CA 92660 • (949) 436-0000 • Fax: (949) 435-5104

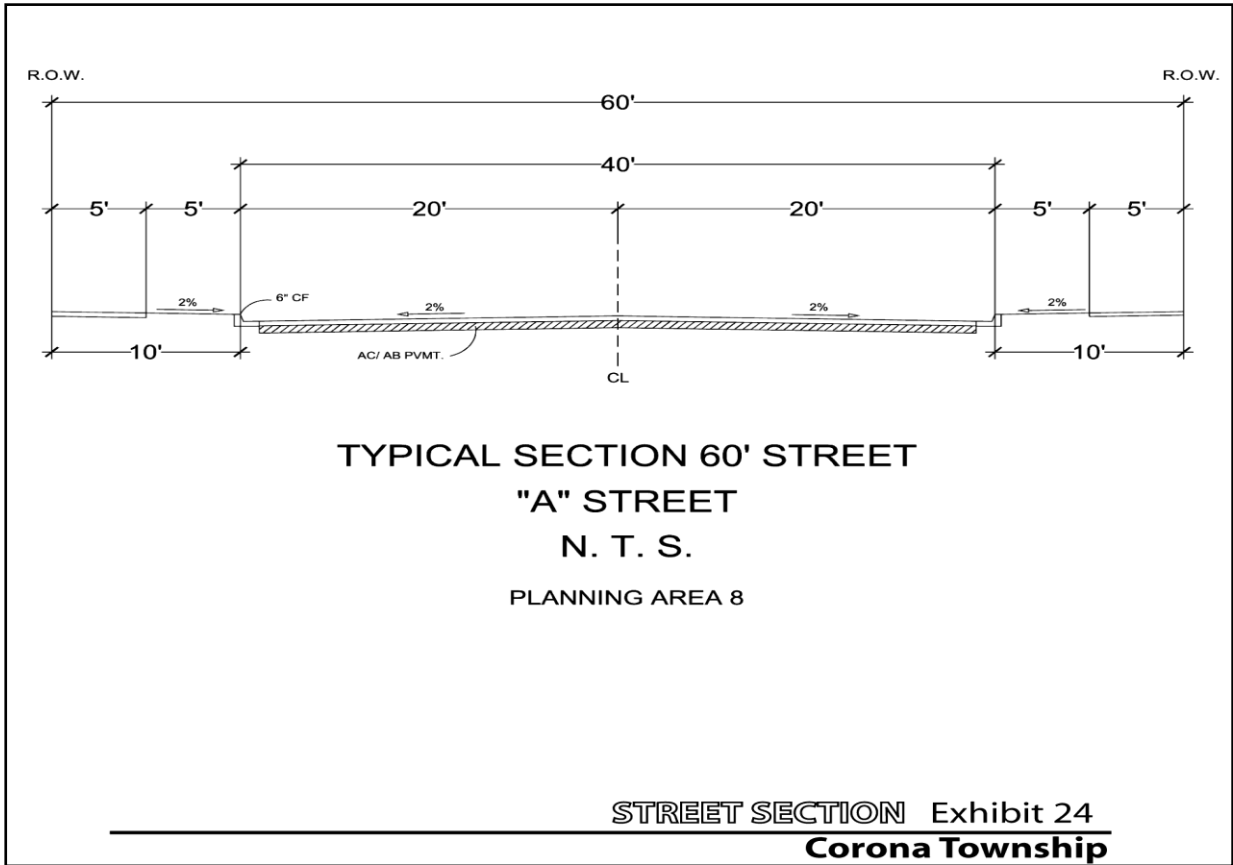
Corona River Road Project
 Corona, California

Building 3 Elevations
Single Family Residences **Exhibit 20**
Corona Township



3D-View of Typical Street Scene
Single Family Residences Exhibit 21
Corona Township





Section 9

Administration and Implementation

9.0 Introduction

The following administrative procedures are incorporated into the Township Specific Plan so that implementation of the Plan will be as consistent with existing City regulations as possible.

9.1. Performance Standards

All development within the Township Specific Plan area shall comply with Section 17.84 of the Corona Municipal Code.

9.2 Development Plan Review

Within the Township Specific Plan area, no building or structure shall be constructed until the plans for the building or structure have been submitted to and approved by the Planning Director according to Section 17.102 of the Corona Municipal Code.

9.3. Administration and Enforcement

The Township Specific Plan shall be administered and enforced according to Section 17.108 of the Corona Municipal Code.

9.4. Variances

The provisions of Chapter 17.96 of the Corona Municipal Code shall be followed for any variance requested to the Township Specific Plan.

Table 1**Residential Areas Plant Material List****Shrubs**

Agapanthus Species	Lily of the Nile
Calliandra Inaequalitera	Pink Powder Puff
Clivia Miniata	Kaffir Lily
Escallonia Rubra	
Euonymus Japonica	Evergreen Euonymus
Grevillea Noelli	
Grewia Caffra Lavender Star Flower	
Ilex Cornuta Burfordi	Burford Holly
Juniperus Conferta	Shore Juniper
Juniperus Sea Green	Sea Green Juniper
Ligustrum Texanum	Texas Privet
Moraea Iridioides	Fortnight Lily
Nerium Oleander	Oleander
Pittosporum Species	Mock Orange
Raphiolepis Species	India Hawthorn
Hebe Species	Veronica
Xylosma Congestum	Shinney Xylosmia

Trees

Alnus Rhombifolia	White Alder
Brachychiton Populneum	Bottle Tree
Cupressocyparis Leylandi	Leyland Cypress
Eucalyptus Rudis	Desert Gum
Gleditsia Tria Shademaster	Honey Locust
Lagerstroemia Indica	Crape Myrtle
Liquidambar Stryaciflua	American Sweet gum
Liriodendron Tulipferum	Tulip Tree
Pinus Canariensis	Canary Island Pine
Platanus Racemosa	California Sycamore

Table 2**Parkway Plant Material List****Shrubs**

Abelia Grandiflora	Glossy Abelia
Calliandra Inaequilatera	Pink Powder Puff
Eleagnus Pungens	Silverberry
Escallonia Rubra	
Euonymus Japonica	Evergreen Euonymus
Grewia Caffra Lavender Star Flower	
Ilex Cornuta Burfordi	Burford Holly
Lantana Sellowiana	Trailing Lantana
Ligustrum Texanum	Texas Privet
Moraea Iridioides	Fortnight Lily
Pittosporum Tobira	Tobira
Raphiolepis Species	India Hawthorn
Tecomaria Capensis	Cape Honey Suckle
Xylosma Congestum	Shiny Xylosmia

Trees

Acacia Baileyana	Bailey Acacia
Albizia Julibrissin	Silk Tree
Alnus Rhombifolia	White Alder
Jacaranda Mimosifolia	Jacaranda
Pinus Halepensis	Alleppo Pine
Platanus Racemosa	California Sycamore

Table 3**Recreation Areas Plant Material List****Shrubs**

Agapanthus Species	Lily of the Nile
Aspidistra Elatior	Cast Iron Plant
Calliandra Inaequilatera	Pink Powder Puff
Clivia Miniata	Kaffir Lily
Euonymus Japonica	Evergreen Euonymus
Euryopus Pectinatus	
Grewia Caffra Lavender Star Flower	
Hemerocallis Hybrids	Day Lily
Liriope Muscari	Lily Turf
Moraea Iridioides	Fortnight Lily
Nandina Domestica	Heavenly Bamboo
Raphiolepis Species	India Hawthorn
Rhynchospermum Jasminioides	Star Jasmine

Trees

Eriobotrya Deflexa	Bronze Loquate
Lagerstroemia Indica	Crape Myrtle
Liquidambar Stryaciflua	American Sweet gum
Pyrus "Aristocrat"	Aristocrat Pear

Table 4

Riparian Habitat Plant Material List

ZONE ONE - Channel Bottom and Lower Channel Side Slopes

Material include herbaceous plants applied with a hydro mulch seed mix including, but not limited to:

Typhu		175%
Melilotus Alba	White Sweet Clover	10.0%
Polypogon	Rabbits Foot Grass	17.5%
Polygonum Iapathium	Knottweed	17.5%
Rumex Crispus	Curly Dog	17.5%
Mons Peliensis		17.5%

ZONE TWO - Channel Side Slope

This planting area shall consist of hand planted Mule Fat at 6’ O.C.

ZONE THREE - Upper Channel Side Slope and Flat Areas above 50 year Storm Level

This planting area shall consist of a combination of hand planted groundcover, barrier shrubs, and trees including, but not limited to, the following:

Trees

Platenus Racemosa	California Sycamore
Populus Fremonti	Fremont Cottonwood
Saxix Goodingii	Black Willow
Salix Hinsiana Sandbar Willow	
Salix Iasiolepis	Arroyo Willow

Barrier Shrubs

Blackberry Briars