

# Main Street South Plaza Specific Plan

## City of Corona

Specific Plan SP-91-01  
(Amended Sept. 7, 2011)

# Credits

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AMENDMENTS TO THE SPECIFIC PLAN MAIN STREET  
SOUTH PLAZA SP-91-1

<b>CASE NO.</b>	<b>COUNCIL APPROVAL</b>	<b>DESCRIPTION/APPLICANT</b>
SPA97-04	04/07/88	Amendment to reconfigure the internal vehicular and pedestrian circulation, change the allowable commercial land uses, and revise the sign requirements (Applicant: Lewis Homes).
SPA99-10	03/06/00	Amendment to establish a drug store with a drive-through pharmacy as a permitted use in Sub-District 3 (Applicant: Clayson, Mann, Yaeger & Hansen).
SPA01-001	02/21/01	Amendment to eliminate church interim use as a permitted use and to add a major conditional use permit for churches equal to or exceeding an overall combined floor area of 10,000 square feet and a minor conditional use permit for churches not exceeding 10,000 square feet in Sub-District 2 and 3 (Applicant: City of Corona).
SPA02-011	06/18/03	Amendment to annex approximately 4.94 acres of land located at the northwest and northeast corners of Main Street and Ontario Avenue, and create a Sub-District 6 to include site development standards and permitted uses (Applicant: Hopkins Real Estate Group).
SPA03-003	07/16/03	Amendment to Sub-District 1 to allow private educational facilities and drugstores or pharmacies with drive-through services. Also permits drive-through restaurants with a CUP. Amends development standards pertaining to landscape setbacks and signage in Sub-District 1, and private schools in Sub-Districts 1-3 (Applicant: Pacific Retail Partners).
SPA03-005	08/20/03	Amendment to various development standards related to Senior Housing uses in Sub-District 2 (Applicant: Christian Care, Inc.).
SPA04-011	11/03/04	Amendment to allow a reduced building setback for commercial buildings located adjacent to residential properties in Sub District 1.

CASE NO.	COUNCIL APPROVAL	DESCRIPTION/APPLICANT
SPA06-006	9/11/06	Amendment to permit with a minor conditional use permit and establish regulations for tobacco stores and smoking lounges in Sub-Districts 1, 5, and 6 (Applicant: City of Corona).
SPA11-003	9/07/11	Amendment to allow monument signs to be constructed up to six feet high in the front yard setback. (Applicant: City of Corona)
SPA2019-0002	10/16/19	Amend Table 4.2 to permit daycare facilities by right in Sub-District 4, Section 6.1.4(a) for sidewalk width, and 6.1.9(c) for monument signs in Sub-District 4. (Applicant: HRI Development)
SPA2023-0002	6/7/23	

# Main Street South Plaza Specific Plan

## City of Corona

### Specific Plan SP-91-1

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Related Documents

*Market Study for the Corona Main Street South Plaza Commercial Area.*  
Williams-Kuebelbeck and Associates, Inc., 1992.

*Fiscal Analysis for the Corona Main Street South Plaza Commercial Area.*  
Williams-Kuebelbeck and Associates, Inc., 1992.

*Final Environmental Impact Report. Main Street South Redevelopment Project.*  
Robert Bein, William Frost & Associates. 1992.

*Redevelopment Plan. Main Street South Redevelopment Project.* GRC Redevelopment Consultants.  
1992.

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# 1.0 Introduction

## 1.1 Purpose

The *Main Street South Plaza Specific Plan* provides a framework for developing the 71-acre primary commercial center of the new South Corona planned community.

The City of Corona has an opportunity to create a unique shopping district that adds to the identity and character of South Corona. Although constraints to development exist, the strong market potential, superior location, visibility, natural setting and resource of undeveloped land are strong assets upon which an innovative design can be developed. The City has expressed a strong desire for the Main Street South Plaza to become a shopping district that has an ability to attract patrons from throughout Corona and neighboring communities, as well as from the South Corona local trade area.

## 1.2 Project Description and Location

### 1.2.1 Location

The Main Street South Specific Plan Area is located approximately 1.3 miles south of the center of Corona, at the northern edge of the 5,067-acre South Corona Planning Area. The Specific Plan Area forms the visual and circulation gateway to South Corona, serving as an important element the new community's environment and image.

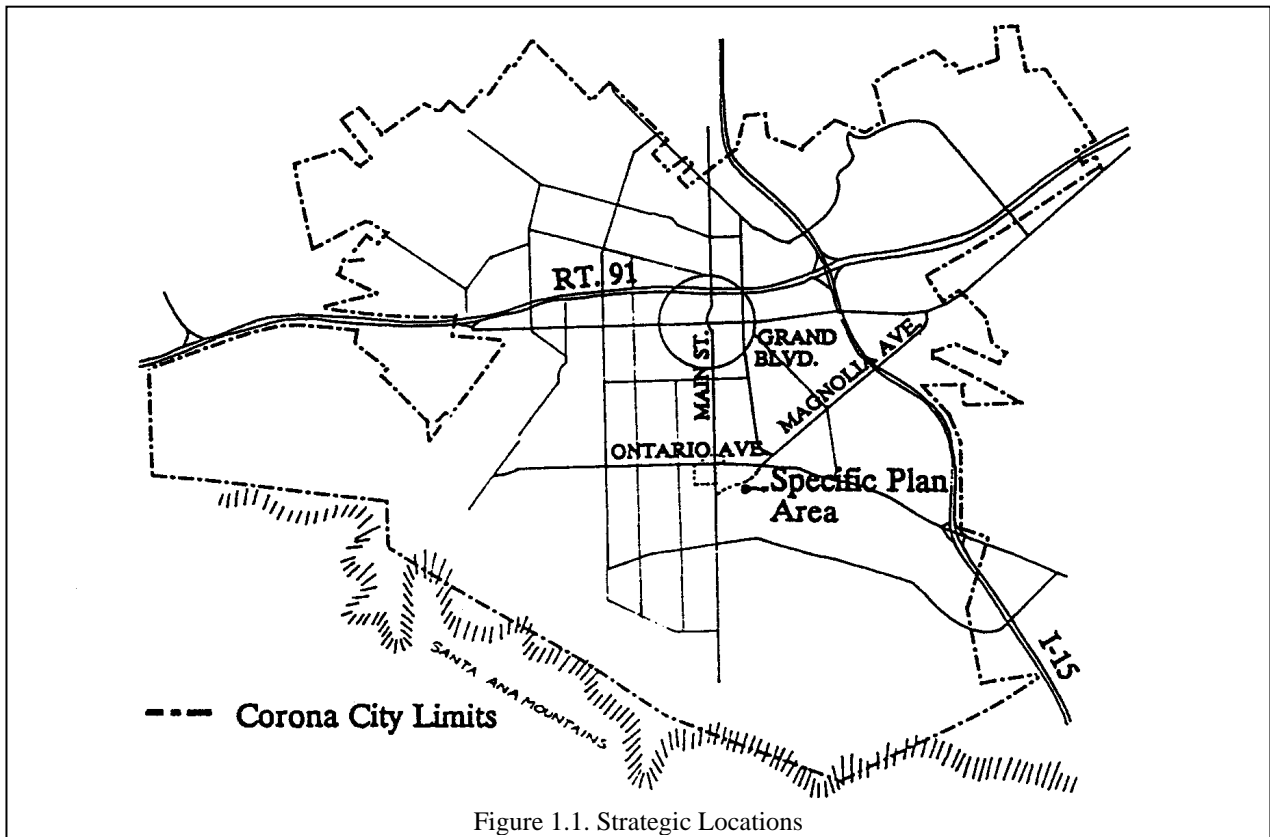


Figure 1.1. Strategic Locations

Main Street South Plaza Specific Plan  
1.0 Introduction

**1.2.2 Specific Plan Area Boundary**

The Main Street South Specific Plan Area comprises approximately 71 acres of land defined by the boundaries indicated in Figure 1.2.

After completion of the Magnolia Avenue extension, the Specific Plan Area will contain approximately 69.62 acres of developable land, not including existing public streets and the Main Street Flood Control Channel.

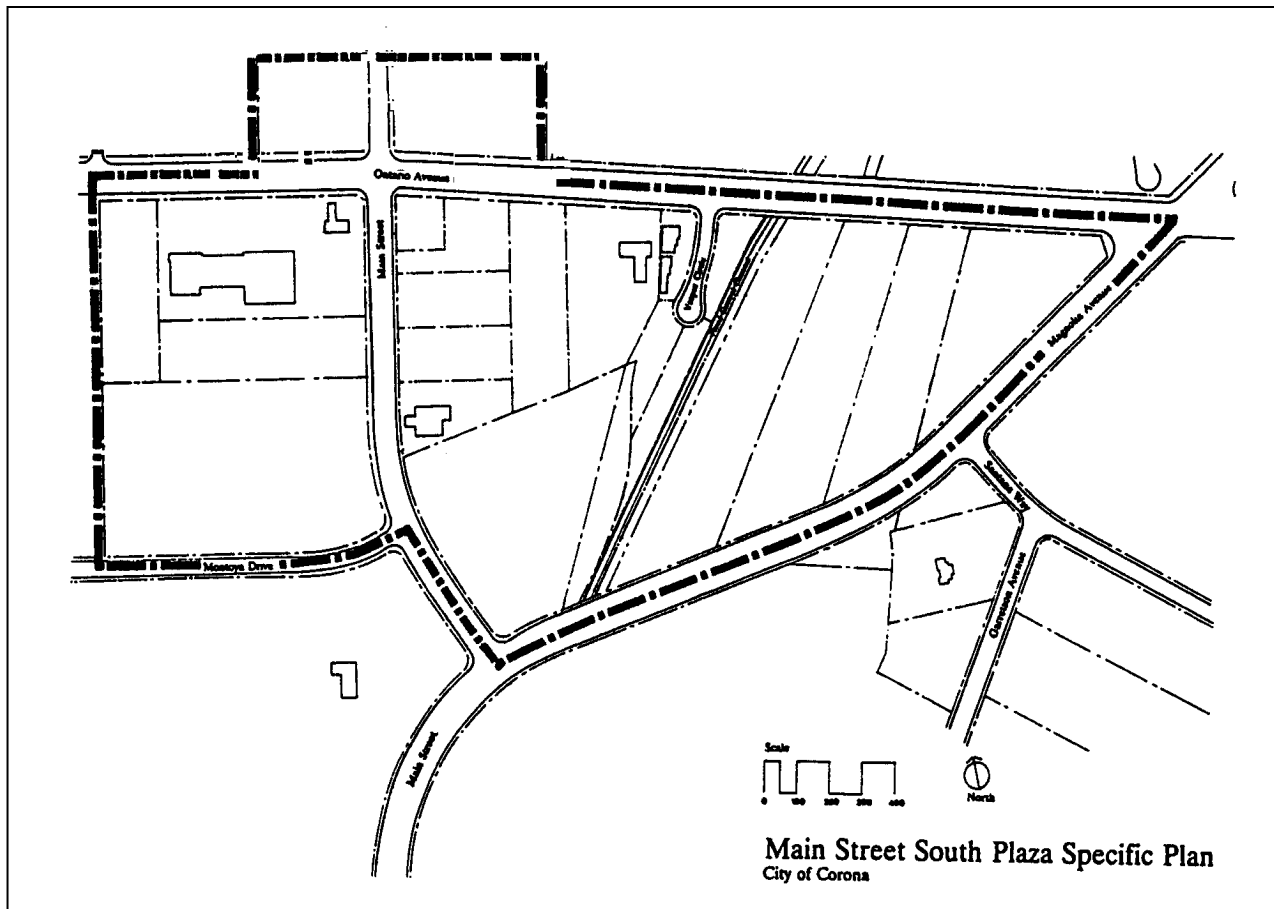


Figure 1.2 Specific Plan Area Boundaries

Main Street South Plaza Specific Plan  
1.0 Introduction

**1.3 Authority and Scope**

**1.3.1 Relevant State Law**

California State Law authorizes cities with complete General Plans to prepare and adopt Specific Plans in accord with Government Code Section 65450. Specific Plans are used as a bridge between the General Plan and individual development proposals. The Specific Plan normally combines zoning regulations, a capital improvement program, development standards, design guidelines, and other regulations or policies tailored to meet the needs of the Specific Plan Area.

A Specific Plan must be prepared, adopted, and amended in the same manner as a General Plan, except that a Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.

No local public works project may be approved, no tentative map, final map, or parcel map may be approved, and no zoning ordinance may be adopted or amended within an area covered by a Specific Plan unless it is consistent with the adopted Specific Plan.

**1.3.2 South Corona Community Facilities Plan**

The City of Corona has adopted a Community Facilities Plan (CFP) for approximately 5,067 acres in South Corona. The CFP establishes land uses, infrastructure master plans, facilities financing mechanisms and design criteria to ensure an orderly and attractive pattern of development. The Main Street *South* Plaza Specific Plan follows the land use, circulation and development policies of the *South* Corona Community Facilities Plan.

Main Street South Plaza Specific Plan  
1.0 Introduction

**1.3.3 Main Street South Redevelopment Project**

The City of Corona Redevelopment Agency has established the Main Street South Redevelopment Project as a new Redevelopment Area which comprises most of the Specific Plan Area. Differences in the boundaries between the Specific Plan Area and Redevelopment Area are identified in Figure 1.3 following.

The boundaries of the Redevelopment Project Area are based upon the property lines as they existed at the time of the adoption of the Redevelopment Plan. The plan excludes a ten acre parcel on the west side of Main Street, to the south of the existing shopping center. This parcel was not included since, at that time, there was a project proposed for the site. Also excluded from the redevelopment project area is 2.6 acres on the northeast corner and 2.34 acres on the northwest corner of Ontario Avenue and Main Street. This area was annexed into the Specific Plan area on June 18, 2003. The Specific Plan boundary includes only the area designated for commercial development as shown in the South Corona Community Facilities Plan.

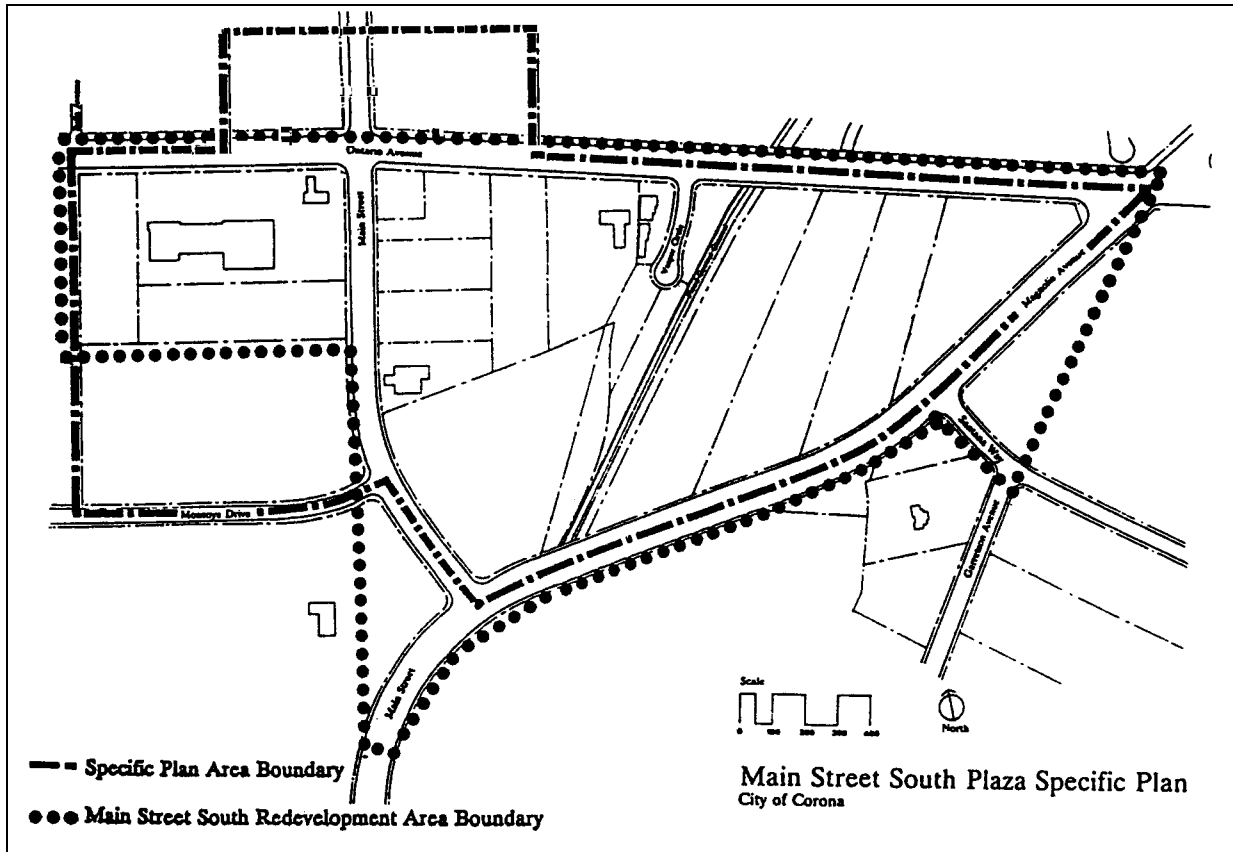


Figure 1.3 Main Street South Redevelopment Project Area

## 2.0 Planning Objectives

### 2.1 Specific Plan Objectives

1. ***Develop Main Street South Plaza as a gateway to South Corona.***
2. ***Provide an economically viable shopping district*** with a mix of land uses that respond to market opportunities in South Corona, the city as a whole, and neighboring communities.
3. ***Create a mixed-use district*** that incorporates public and recreational activities on the site. Desirable activities include a child care facility, recreation/health club, public buildings (post office, library branch, community center or other facility), churches, and public assembly activities that attract people to the district.
4. ***Provide locations for offices, medical facilities and employment activities*** that are compatible with the district and surrounding residential neighborhoods.
5. ***Develop a central pedestrian-oriented drive as the focus of the shopping district.*** In the manner of a traditional American "Main Street," orient principal buildings and retail activities to the focus drive, sidewalks and public spaces.
6. ***Provide a high quality pedestrian environment*** with wide sidewalks, safe street crossings, street trees, a plaza or park, ample site landscaping and pedestrian lighting.
7. ***Develop clear circulation linkages and access points to adjacent streets:*** Ontario Avenue, Magnolia Avenue, Main Street, Montoya Drive and Santana Way.
8. ***Develop clear pedestrian and bicycle linkages to the adjacent residential neighborhoods*** through sidewalks, walking and bicycle paths.
9. ***Integrate existing land uses*** with new development where feasible. Encourage renovation of existing facilities to be compatible with the Design Guidelines of the Specific Plan Area.
10. ***Permit senior citizen housing*** in a portion of the area. Provide clear pedestrian access to shopping and public activities.
11. ***Develop an open space linkage along the Main Street Flood Control Channel,*** providing a pedestrian path to the residential neighborhoods to the south and north.
12. ***Minimize land uses that conflict with pedestrian activity or detract from the pedestrian orientation of the Specific Plan Area.***
13. ***Reinforce the objectives of the Main Street South Redevelopment Project*** by encouraging assembly of smaller land parcels to create an integrated and unified shopping district.
14. ***Provide adequate buffers adjacent to existing and planned residential uses.***

Main Street South Plaza Specific Plan  
2.0 Planning Objectives

## 2.2 Plan Concept and Elements

### 2.2.1 Plan Concept

The Specific Plan creates a retail *focus drive* as a unifying element that ties the shopping district together by linking the western and eastern portions now separated by the Main Street Flood Control Channel. The objective is to develop a high-quality pedestrian environment, with wide sidewalks, street trees, plaza or park, arcaded building fronts and small pedestrian courtyards between buildings.

- The *focus drive* links directly to Main Street, Magnolia Avenue, Ontario Avenue and the two new Village Loop Roads, Montoya Drive and Santana Way. Clear access to the site is provided to the new neighborhoods of South Corona, and existing neighborhoods to the north of Ontario Avenue.
- All existing development is retained and integrated with planned development. The Plan provides expansion and improvement potential for existing buildings, and encourages existing development to be brought up to the architectural and landscape standards of new development.
- The *West Focus Drive* contains areas of diagonal parking in front of the shops, and would slow traffic speeds to provide a pedestrian emphasis.
- Senior citizen housing is a permitted use at the northwest corner of Main Street and Montoya Drive, linked to the *focus drive* by crosswalks at the Main Street-Montoya Drive traffic light.
- The parcel shape and single ownership pattern of the land area on the east side of the Main Street Flood Control Channel may lead to a site design oriented to both Magnolia and Ontario Avenues. The *focus drive* is to be integrated with the design of the area, providing a direct link to Santana Way.
- The plan concept creates a "landscaped frame" which unifies the edges of the site.

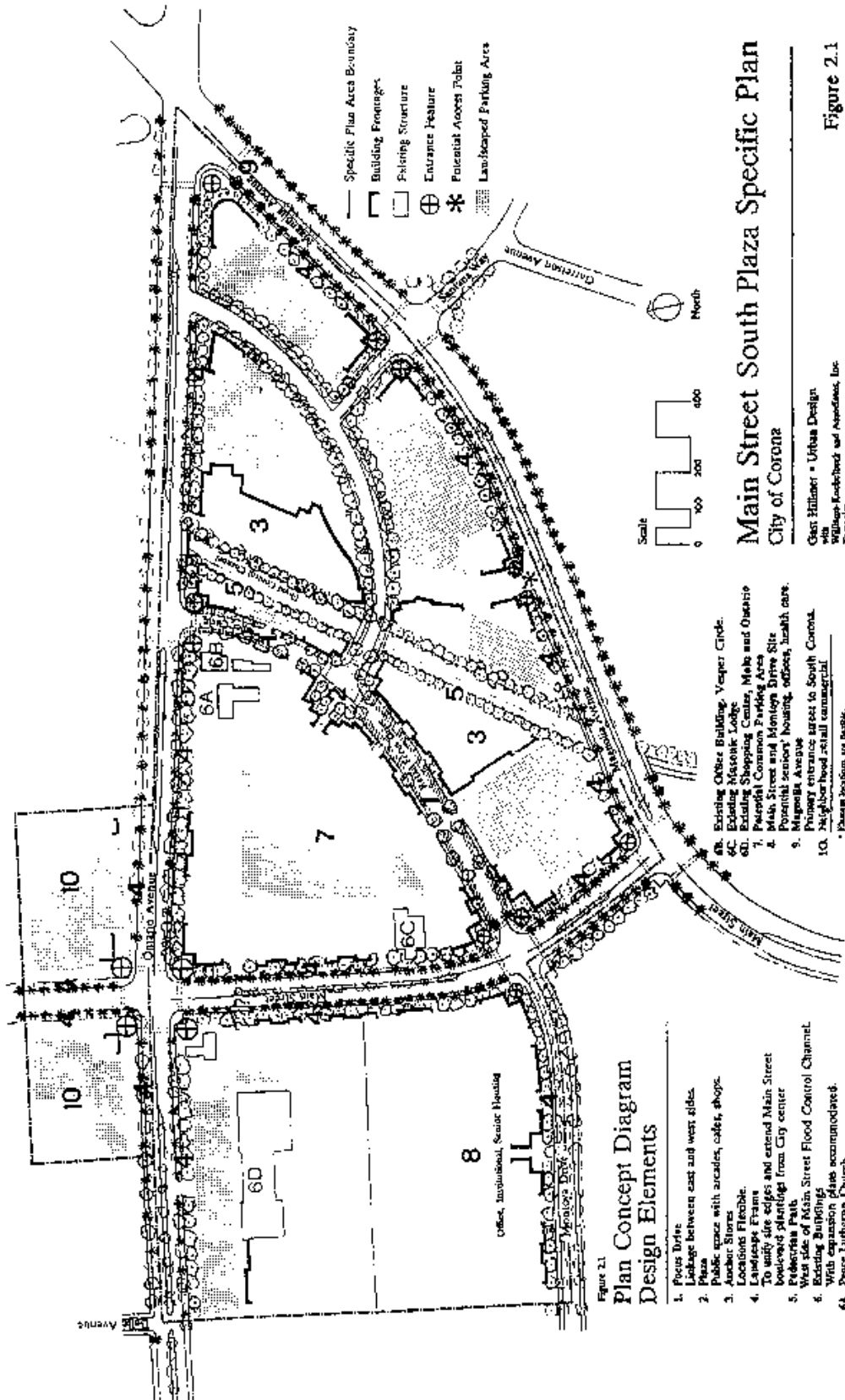
Main Street South Plaza Specific Plan  
2.0 Planning Objectives

**2.2.2 Plan Elements.**

The numbers below correspond to Figure 2.1 "Plan Concept Diagram."

The locations of the elements shown on the "Plan Concept Diagram" are flexible and are to be determined in detailed site plans.

1. **Focus Drive.** Some of the retail shops and services have storefronts on the focus drive. Some of the shops, depending on their nature, will also develop rear, side or courtyard entrances.
2. **Plaza.** The Plaza creates an outdoor centerpiece, surrounded by arcades, cafes, retail shops, and vertical elements.
3. **Anchor Stores.** Location and number flexible.
4. **Landscape Frame** to unify the edges of the site along Main Street, Ontario Avenue and Magnolia Avenue. The landscaped frame contains offices, financial institutions, public/quasi-public and restaurant uses.
5. **Pedestrian Path** along the west side of the Main Street Flood Control Channel. Open space easement.
6. **Existing Buildings** Retained with expansion plans accommodated.
  - A. **Peace Lutheran Church.**
  - B. **Existing Office Building, Vesper Circle.**
  - C. **Existing Masonic Lodge.**
  - D. **Existing Shopping Center, Main and Ontario.**
7. **Potential Common Parking Area.** Location flexible. A common parking area and parking district should be developed. This will reduce the number of required parking spaces and economize in the use of land. Incorporate existing development where feasible.
8. **Main Street and Montoya Drive Site.** Potential health care facility, offices, or senior citizen housing. This site may be developed for a mix of the uses listed.
9. **Magnolia Avenue.** Primary entrance street to South Corona.



# Main Street South Plaza Specific Plan

City of Corona

Chris Hillmer • Urban Design  
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Torrance

Figure 2.1

## Plan Concept Diagram Design Elements

1. Focus Drive
2. Plaza
3. Public space with arcades, cafes, shops.
4. Accessible
5. To unify site edges and extend Main Street boulevard plantings from City center
6. West side of Main Street Flood Control Channel
- 6A. Existing Buildings
- 6B. With expansion plans accommodated
- 6C. Peace Lutheran Church

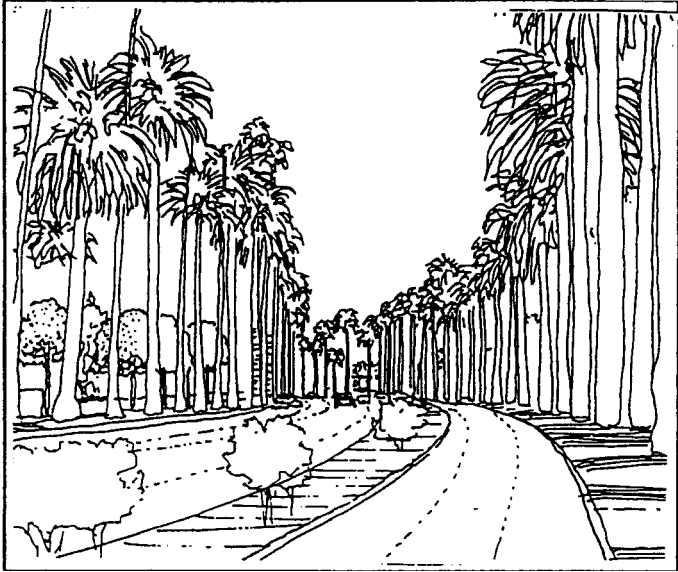
- 6A. Existing Office Building, Vesper Circle.
- 6B. Existing Mission Lodge.
- 6C. Existing Shopping Center, Mills and Ontario
7. Potential Common Parking Area
8. Main Street and Montoya Drive Site
9. Potential seniors' housing, offices, health care.
10. Municipal Avenue
10. Primary entrance target to South Central.
10. May be used for retail commercial.
- \* Phase boundary on people.



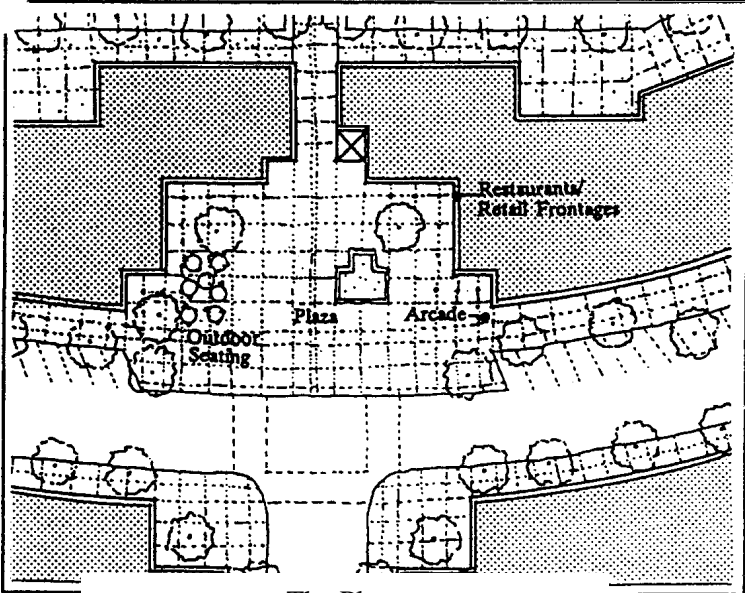
Main Street South Plaza Specific Plan  
2.0 Planning Objectives



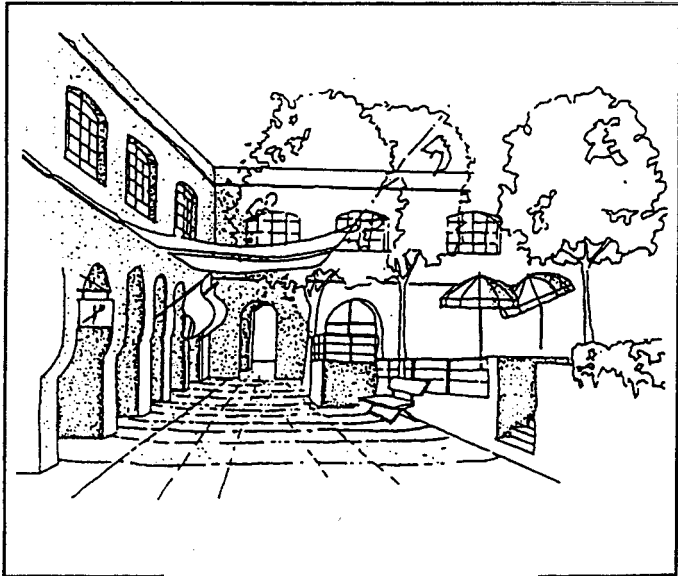
Retail Focus Street



Landscape Linkages



The Plaza



Pedestrian Emphasis

Figure 2.2 DESIGN CONCEPTS

## Main Street South Plaza Specific Plan

### 2.0 Planning Objectives

#### **2.3 Relationship to the Corona General Plan**

*The Corona General Plan* lists several Goals and Objectives relevant to the *Main Street South Plaza Specific Plan*. The General Plan's applicable Goals and Objectives are listed below in italics, followed by a statement of the Specific Plan's relation to the General Plan.

##### **2.3.1 Land Use Element**

###### **Goals**

- *To develop a land use pattern which meets the basic needs of Corona residents for essential services, working and living areas, and area for pursuit of leisure time activities.*

The Specific Plan provides a planned, unified commercial district to serve daily shopping needs of residents of South Corona and the City's adjacent neighborhoods north of Ontario Avenue.

###### **Objectives**

- *To encourage the grouping of convenience and service facilities into integrated centers providing a full range of goods and services properly related to the neighborhoods served.*

The Specific Plan Area fits into the "Neighborhood Center" classification described by the General Plan. "Neighborhood Centers" are designated to provide convenience shopping for residents in the immediate vicinity, including personal services, supermarkets, drug stores and related establishments. If properly designed with a unique environment and amenities, Main Street South Plaza has potential to attract patrons from the entire city and neighboring communities.

The land use mix and permitted intensity of development in the Specific Plan Area are matched with projected market demands upon final build out of the South Corona area.

- *To require the master planning of infrastructure systems in major new development areas.*

The Specific Plan provides an analysis of existing infrastructure, and a concept plan for required infrastructure improvements.

- *To accommodate implementation flexibility through the use of innovative development control mechanisms such as Specific Plans and Community Facilities Plans.*

The Specific Plan provides land use, design, parking and circulation standards that are specially tailored to the Main Street South Plaza commercial district.

- *To protect established neighborhoods in major new development areas from adjacent incompatible uses.*

Edge conditions along Ontario Avenue and Main Street, where the new commercial district will adjoin existing residential neighborhoods, are treated as a "landscaped frame" to provide a transition between residential and commercial development.

Main Street South Plaza Specific Plan  
2.0 Planning Objectives

### 2.3.2 Circulation Element

#### Goals

- *To provide a safe and efficient system for movement of people and goods in the City of Corona through City actions and coordination of all agencies involved in development of circulation facilities in the Corona area.*
- *To increase the mobility of residents through development of an adequate and balanced transportation system that includes automotive and non-automotive transportation considerations.*

The Specific Plan emphasizes clear pedestrian and automobile access to the commercial area from the two new Village Loop Roads (Santana Way and Montoya Drive), and from Main Street, Ontario Avenue and Magnolia Avenue.

Access points into the Specific Plan Area from major arterials are limited in order to minimize turning movements that would disrupt traffic flow.

#### Objectives

- *To require new developments to provide adequate right-of-way widths for future needs as well as current travel demands.*

Right-of-way widths are provided consistent with the *South Corona Community Facilities Plan*.

- *To plan a circulation system that supports a cohesive development pattern that will minimize trip lengths and reduce harmful impacts of automotive use.*

The concept for the Specific Plan Area emphasizes pedestrian circulation and a pedestrian orientation in design. The "focus street" is a pedestrian-emphasis street with wide sidewalks, street trees, street furniture and storefronts oriented directly to sidewalks. The intent is to encourage pedestrian circulation within the development, reducing internal automobile use.

- *To support development of non-automotive transportation.*

The "focus street," with its direct link to Santana Way and Montoya Drive, is well-suited to a feeder line bus service loop within South Corona. Locations for bus stops are provided on Ontario Avenue (existing service), Main Street and Magnolia Avenue (both potential future service).

Bicycle paths and pedestrian walkways are provided on Montoya Drive. A hiking-biking path is provided on the east side of the Main Street Flood Control Channel.

Main Street South Plaza Specific Plan  
2.0 Planning Objectives

### **2.3.3 Open Space and Parks and Recreation Elements**

#### **Goals**

- *To achieve a balanced distribution of open space to meet the needs of residents and contribute to logical development of the urban area.*

A variety of open spaces for public use are provided within the Specific Plan Area. Privately maintained open space is emphasized to minimize public maintenance responsibility.

The following open spaces are provided:

1. Hiking-biking path along the east side of the Main Street Flood Control Channel. Public space provided by easement. This path is identified in the City's *Parks and Recreation Element* (January 1989).
2. "Focus Drive." Wide sidewalks with street trees and street furniture serve as a pedestrian open space network through the center of the Specific Plan Area. Construction and maintenance responsibility shall be assumed by private property owners.
3. Plaza. Near the center of the "focus drive," the Plaza provides an open space which serves as a setting for cafes, restaurants and outdoor activities such as art exhibits, performances, and community events. The Plaza is to be provided and maintained by private property owners.
4. Courtyards and Patios. The Design Guidelines encourage outdoor activity spaces such as courtyards and patios for eating/dining, recreation or visual focus points

### **2.3.4 Community Design Element**

#### **Goal**

- *To develop a City that is visually attractive, efficiently and effectively organized, and understandable both functionally and psychologically.*

The Specific Plan provides a comprehensive land use, design and circulation framework to organize the commercial uses into a coherent district with strong linkages. The Plan offers a viable alternative to incremental commercial development implemented under conventional zoning

#### **Objective**

- *To reinforce a system of city corridors, areas of interest, and entry points that serve to identify and distinguish Corona.*

The Specific Plan's "focus street" and plaza create a place of interest, public gathering and identity point for South Corona. Entry points to Main Street South Plaza are marked with landscape, graphic elements and landmark buildings.

Main Street South Plaza Specific Plan  
2.0 Planning Objectives

## **2.4 South Corona Community Facilities Plan**

The Main Street South Plaza Specific Plan Area is the designated primary commercial center for the 5,067 acre South Corona Planning Area.

The *South Corona Community Facilities Plan*, adopted in July 1988, revised in July 1990 and August 1992, establishes a planning concept of four "villages," each with a mix of low, low-medium and medium density residential uses, an elementary school, neighborhood and community park, and "village core." The Main Street South Plaza Specific Plan Area is located in Village One, which comprises 976 acres and includes the existing Corona Community Hospital Health Care Facility.

Village Two, containing approximately 1,420 acres, lies immediately to the east of the Specific Plan Area, beginning on the east side of the Magnolia Avenue extension. Village Two will contain a 50-acre "major park" located at the southeast corner of Ontario and Magnolia Avenues.

Village Three, approximately 1,520 acres, lies in the southeast quadrant of the South Corona community planning area. The village contains single family housing, residential estates and a medium density village core. Village Three is defined by hillsides along its southerly edge which extend northward from the Cleveland National Forest.

Village Four, approximately 1,151 acres, makes up the southwestern quadrant of South Corona. This village will focus on a medium density core with access from Foothill Parkway, Upper Drive and a northerly loop road.

*The South Corona Community Facilities Plan* provides Land Use, Community Design, Traffic/Circulation, Public Facilities, Infrastructure, Implementation, Fiscal and Financing sections. All elements of the Main Street South Plaza Specific Plan described in this document are consistent with the standards and provisions of the *South Corona Community Facilities Plan*.

## **2.5 Main Street South Redevelopment Project**

The Main Street South Redevelopment Project Area was adopted by Ordinance No. 2125 on July 1, 1992. The project area consists of approximately 69 acres. The purpose in creating a redevelopment project area is to assist in implementing the Specific Plan by providing a means for financing eligible redevelopment activities and thereby helping to insure that the long-term plans for the area are implemented.

Main Street South Plaza Specific Plan  
2.0 Planning Objectives

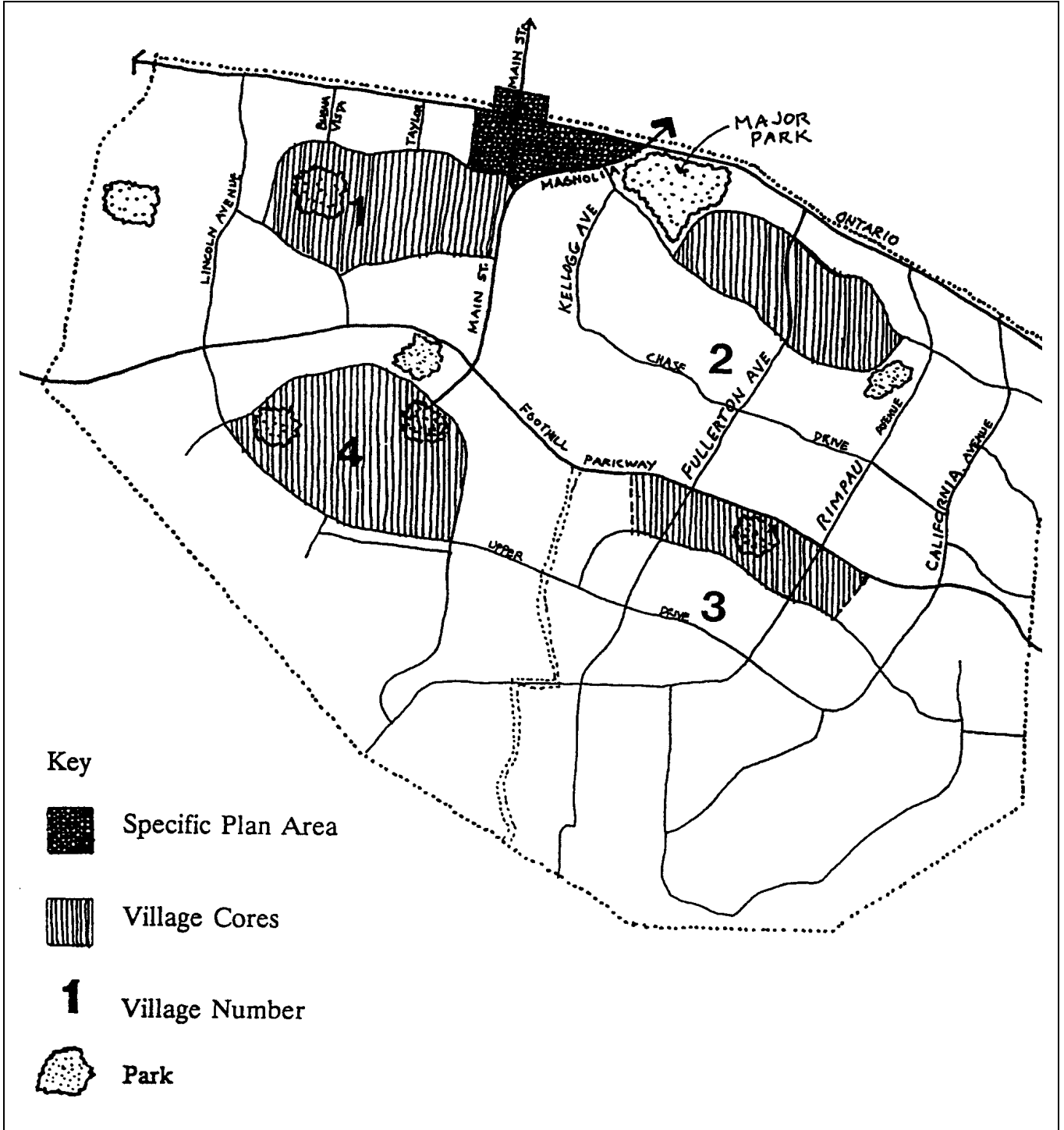


Figure 2.3 South Corona Community Planning Area

## 3.0 Existing Conditions

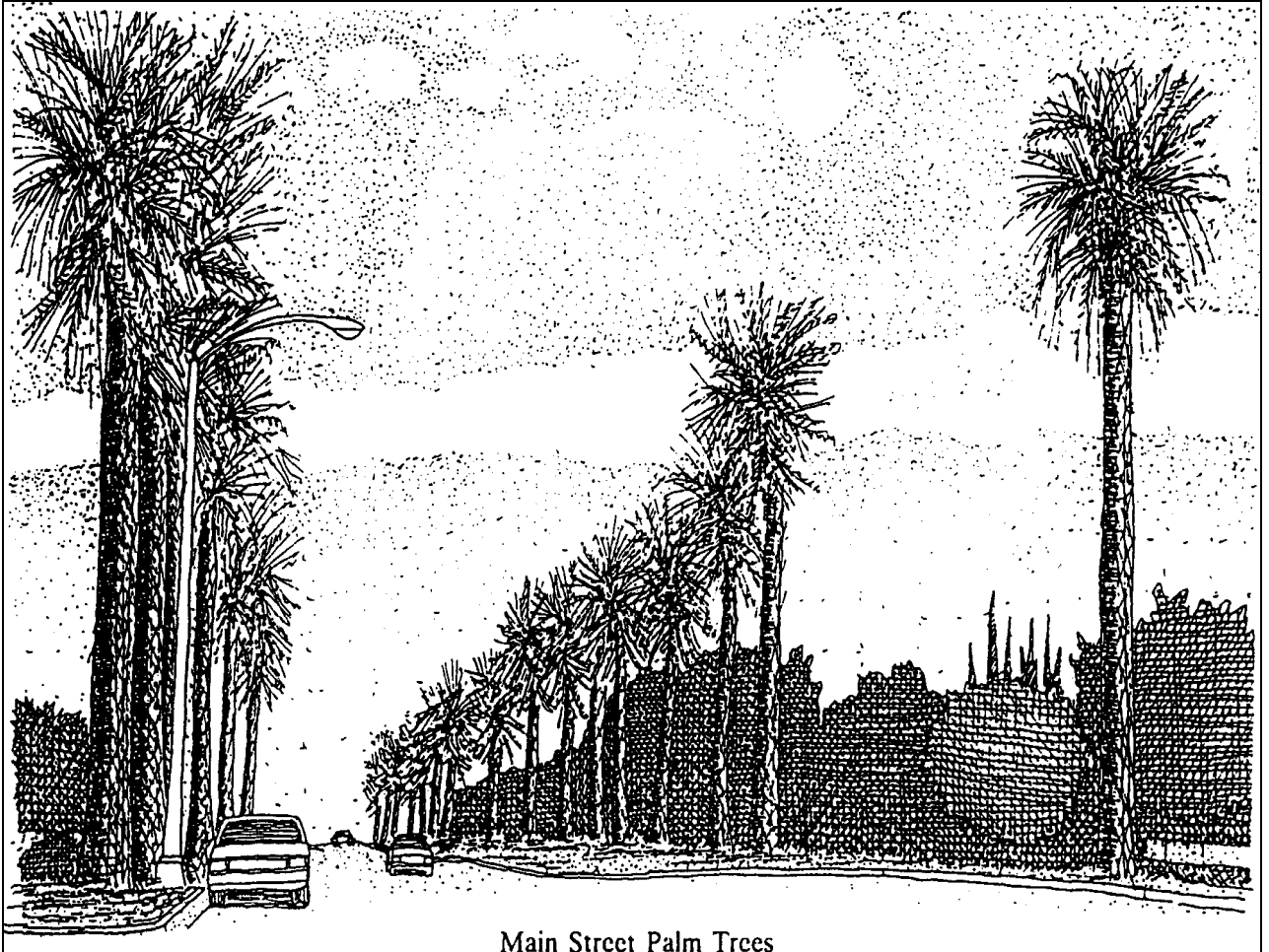
### 3.1 Neighborhood Context

The Specific Plan Area (see figure 3.1) is located on the north and south sides of Ontario Avenue with Main Street bisecting the area just north of Magnolia Avenue. The majority of the Specific Plan, 66 acres, is located on the south side of Ontario Avenue within South Corona on the east and west sides of Main Street and north of Magnolia Avenue. The remainder of the Specific Plan, 4.94 acres, is located on the northeast and northwest corners of Ontario Avenue and Main Street.

The properties adjacent to the Specific Plan Area on the north side of Ontario Avenue are zoned R1-8.4 and R1-9.6 by the City's Zoning Map and Low Density Residential (0-6du/ac) by the City's General Plan. On the south side of Ontario Avenue, the planned residential neighborhood of South Corona adjacent to the Specific Plan are a mix of Low, Low-Medium, and medium density residential land uses.

Existing development south of the Specific Plan Area, along Main Street, includes the Seventh Day Adventist Church, the Corona Community Hospital Health Care Facility, and related Corona Community Villas.

Main Street South Plaza Specific Plan  
3.0 Existing Conditions



Main Street Palm Trees



Main Street South Plaza Specific Plan  
3.0 Existing Conditions

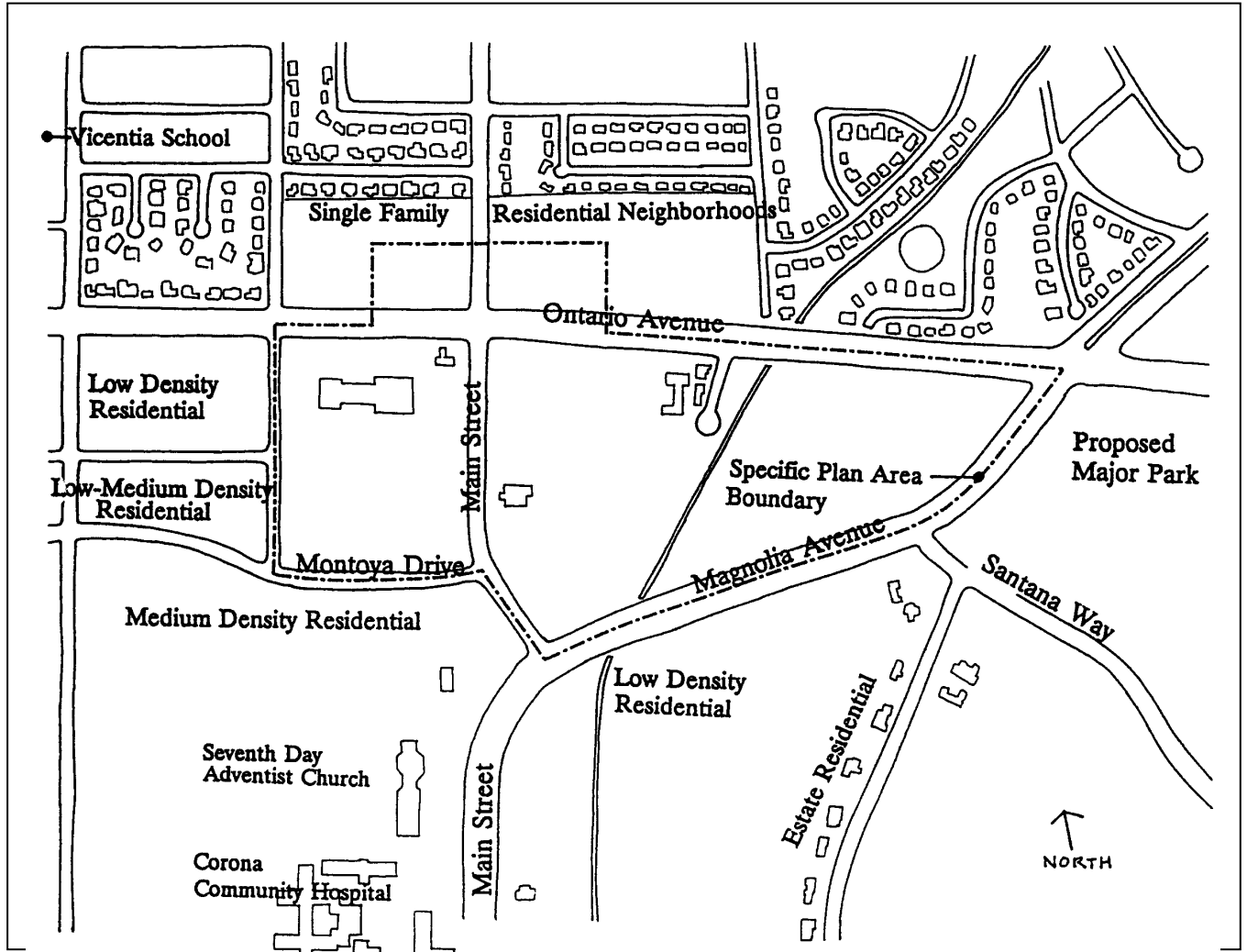


Figure 3.1 Neighborhood Context. Adjacent Land Uses

Main Street South Plaza Specific Plan  
3.0 Existing Conditions

**3.2 Specific Plan Area Land Use**

After completion of the Magnolia Avenue extension, the Specific Plan Area will comprise approximately 69 acres of land, not including existing public streets and the Main Street Flood Control Channel.

**Table 3.1**

**Specific Plan Area Acreage (approximate)**

Total Gross Area	70.94 acres	(excludes existing public streets and the Main Street Flood Control Channel)
Total Net Area	69.62 acres	

**Table 3.2**

**Land Use Categories**

Land Use	Acreage per Sub District
Sub District One	7.34
Sub District Two	12.67
Sub District Three	7.8
Sub District Four	16.87
Sub District Five	20
Sub District Six	4.94

Figure 3.2 provides a map of the Specific Plan Area with existing parcel lines

Table 3.3 following lists an Inventory of existing land uses and the status of each parcel.

Main Street South Plaza Specific Plan  
3.0 Existing Conditions

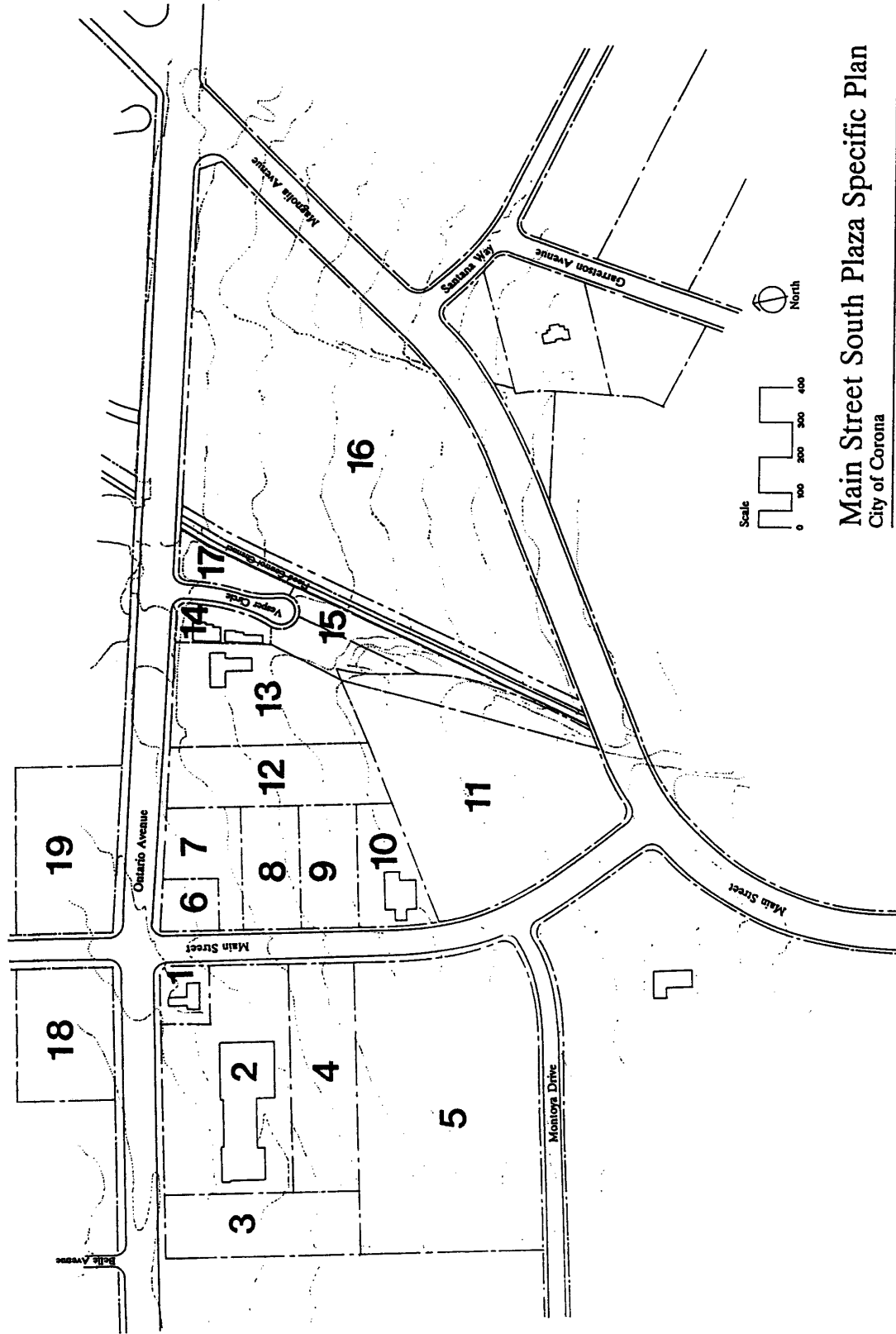
**Table 3.3 Existing Land Use.<sup>1,2</sup>**

See Figure 3.2 Specific Plan Area with Parcels

Map Reference No.	Assessors Parcel No.	Parcel Size (Acres)
1	113 300 001	0.44
2	113 300 002 113 300 003 113 300 004	4.72
3	113 300 005	2.18
4	113 300 006	2.67
5	113 300 008	10.0
6	113 360 001	.53
7	113 360 002	1.18
8 & 9	113 360 040	2.54
10	113 360 005	.91
11	113 360 024 113 360 023	11.5 (existing)
12	113 360 010	2.28
13	113 360 011	3.0
14	113 360 012	.55
15	113 360 014 113 360 015	.62 .95
16	113 360 031 113 360 032 113 360 033 113 360 034 113 360 035 113 360 036 113 360 037 113 360 043	20
17	113 360 013	0.61
18	Portion of 109-360-005 109-360-006	2.34
19	Portion of 109-350-001	2.6
<b>Total Acreage 69.62 acres<sup>1</sup> (After Magnolia Avenue extension)</b>		

<sup>1</sup>Excludes existing public streets and Main Street Flood Control Channel.

<sup>2</sup>The above acreage and square foot totals are approximate.



**Main Street South Plaza Specific Plan**  
 City of Corona

Great Hillman • Urban Design  
 with  
 Williams-Kuehnbach and Associates, Inc.  
 Architects

Main Street South Plaza Specific Plan  
3.0 Existing Conditions

**3.3 Physical Characteristics**

**3.3.1 Physiography**

The South Corona Planning Area, which includes a portion of the Specific Plan Area, is situated on the north side of the Santa Ana Mountains. It is considered to be part of a larger geologic area called an "alluvial fan" which results from erosional processes that are forming Main Street Canyon and Eagle Canyon in the mountain ranges to the south. The South Corona Area is in the upper limits of this "fan" soil formation, while most of the existing development in Corona lies in the lower reaches of the "fan."

The gradual downhill slope of land to the north gives the Specific Plan Area long distance views over the developed areas of the City to the north. The Santa Ana Mountain range provides a scenic backdrop for the area when viewed from the north.

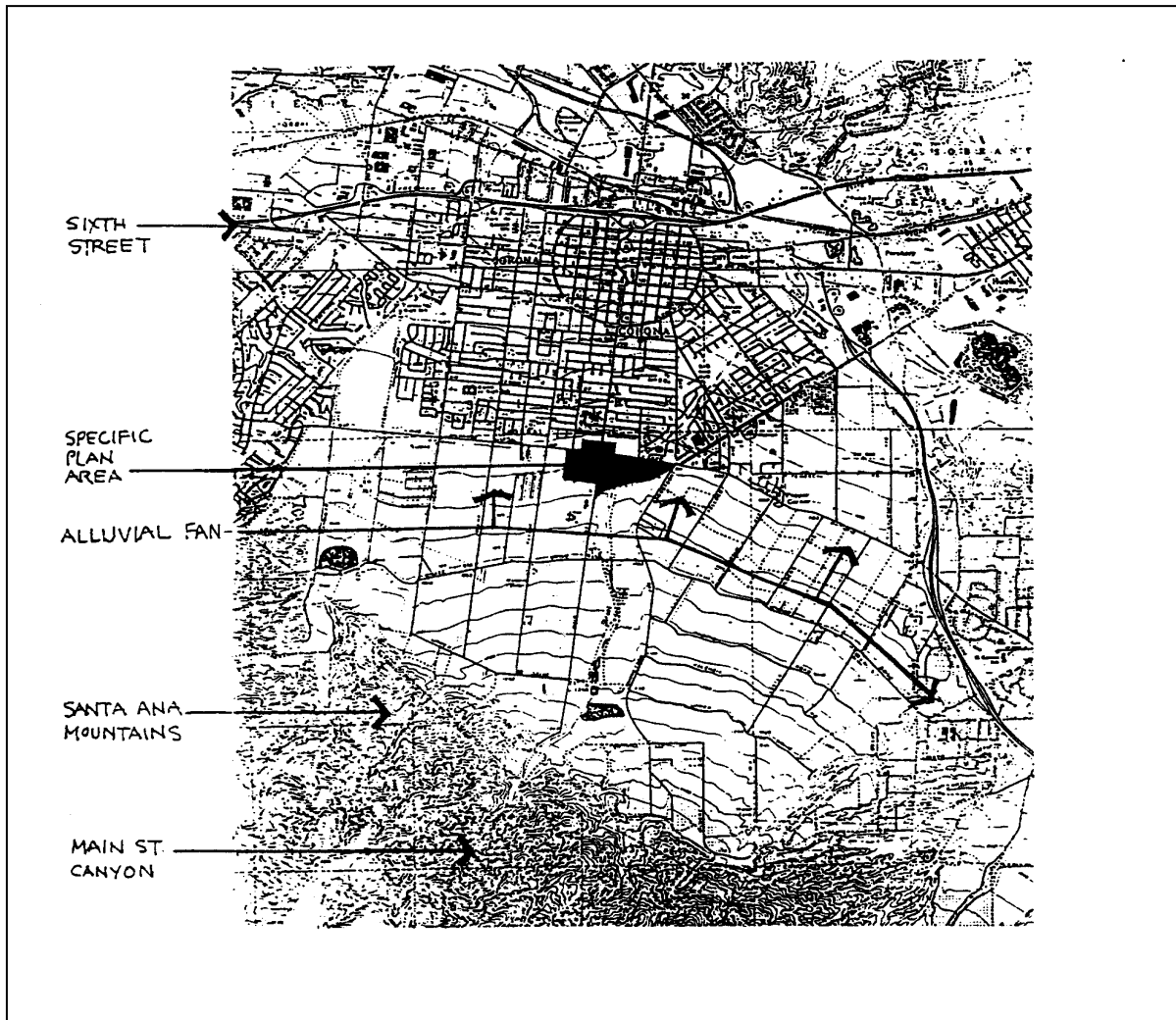


Figure 3.3 Specific Plan Area Physiography

Main Street South Plaza Specific Plan  
3.0 Existing Conditions

### **3.3.2 Topography**

The topography of the Specific Plan Area slopes gently from south to north, with a gradient of approximately 3.5%. The high point of the area is located on the southern edge along Main Street, with an elevation of approximately 960 feet above mean sea level. The low point of the area is located near its northwestern corner north of Ontario Avenue at Bell Avenue, with an elevation of 876 feet above mean sea level. The total grade change is approximately 84 feet.

### **3.3.3 The Main Street Flood Control Channel**

The Main Street Flood Control Channel, which connects the Main Street Canyon to the Santa Ana Mountains, physically severs the planning area in two. The 18 foot wide by 8 foot deep manufactured channel lies in the Main Street Wash that drains south to north through the site. The open concrete channel is edged with chain link security fencing and is paralleled by a secured service drive. The sloping banks of the natural wash slope down to the constructed channel and give the feeling of a small "valley."

The channel is regulated by the Riverside County Flood Control District. Conversations with a District representative confirmed that the channel could be bridged at selected locations, if the structure were properly designed and approved by the District. Encroachment permits and easements are necessary, and may need to be purchased.

### **3.3.4 Landscape Character**

Main Street connects several neighborhoods of Corona with a strong visual structure of landscape elements. With its deep landscaped setbacks, Main Street has a strong identity as a civic boulevard from Grand Boulevard to Ontario Avenue. This image captures the spirit of the Southern California landscape tradition in its ability to unify the wide variety of uses and buildings along its length.

Existing palms on Main Street are to be preserved and protected as provided in the South Corona Community Facilities Plan and the City Council Palm Tree Policy. Improvement plans are to be developed to minimize the need to relocate palm trees.

Magnolia Avenue, with its landscaped median and flanking planted parkway, serves as another strong landscape element in the city's visual structure. Magnolia Avenue will become the primary entrance arterial to South Corona.

High quality single-family residential neighborhoods flank Main Street north of the Specific Plan Area. These neighborhoods have many mature street trees and well-planted setbacks between buildings and streets.

Main Street, south of Ontario Avenue, has a distinct landscape structure created by the rows of mature palm trees that flank both sides of the street. The palms create a strong visual connection between the older part of the city and newly-developing area of South Corona. They frame longrange views southward from the Specific Plan Area to the Santa Ana Mountains, and extend the Main Street axis of the city southward through South Corona.

Main Street South Plaza Specific Plan  
3.0 Existing Conditions

**3.3.5 Site Gateways**

Main Street and Magnolia Avenue will serve as the primary visual and circulation linkages between South Corona and the older developed areas of the City to the north. The intersections of Main and Ontario, and Magnolia and Ontario, will be important gateways to the Specific Plan Area and South Corona as a whole. The project presents an opportunity to create strong visual symbols which mark the entrance gateways.

**3.3.6 Existing Development**

At the time of the initial adoption of the Specific Plan, there were three general areas of built development in the Specific Plan Area, all having similar building and landscape character:

- The existing shopping center and service station on the southwest corner of Ontario Avenue and Main Street are typical of older suburban commercial buildings. The image of this development along Ontario Avenue is street-fronting parking, sidewalks and street trees. The Main Street frontage has an inadequate landscape buffer, cluttered signage, and a large sunken, loading/trash area that detracts from the appearance of the development.
- The existing small office building at Vesper Circle and the neighboring Peace Lutheran Church are modest one and two-story light block buildings with deep landscaped setbacks from Ontario Avenue. The scale of the buildings and landscape character are compatible with the single family residential neighborhoods across Ontario Avenue to the north.
- The existing Masonic Lodge on Main Street is set back from the street with a deep landscaped frontage. The building's street-facing facade is a solid wall.

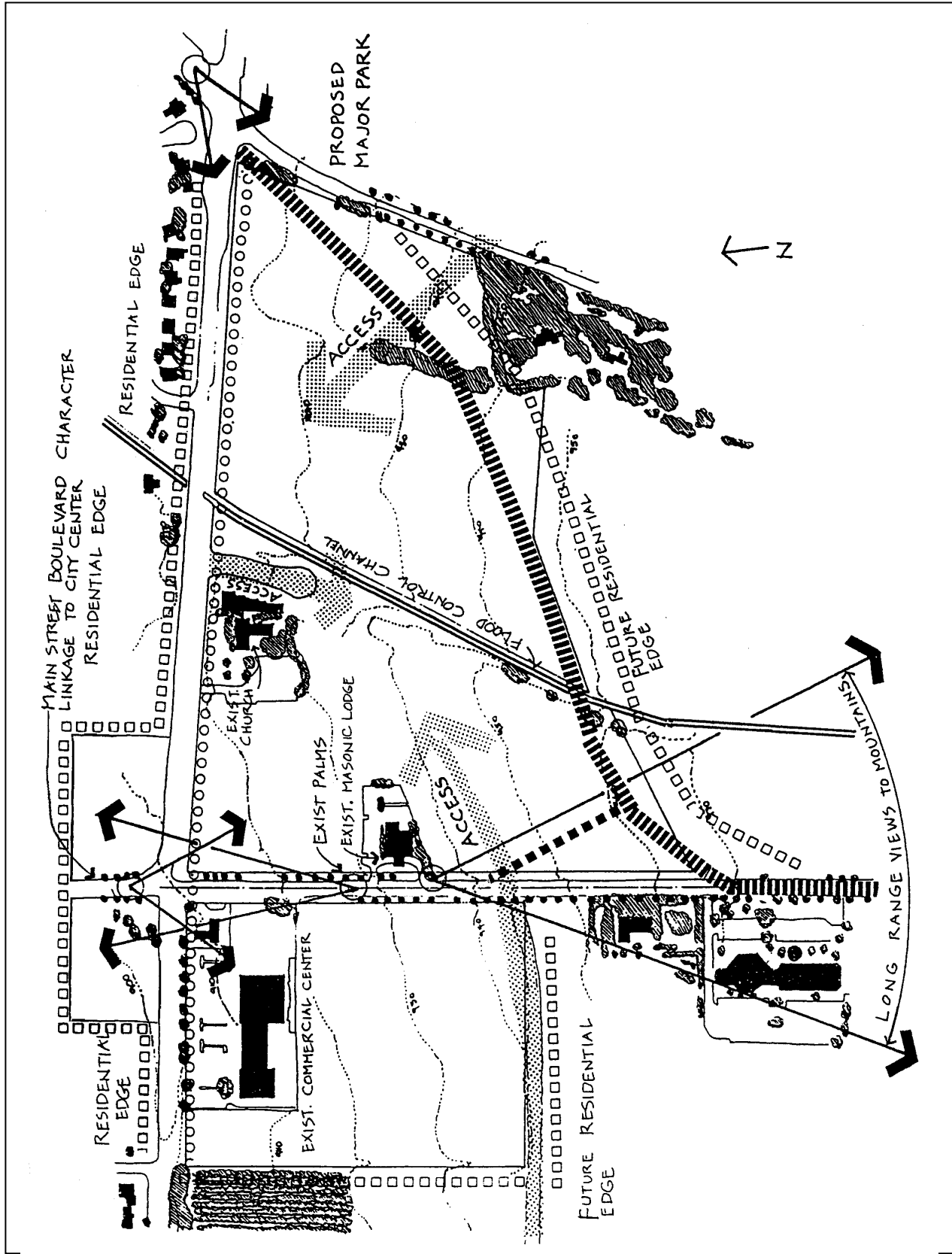


Figure 3.4 Site Analysis



## 4.0 Land Use Plan

### 4.1 Conceptual Land Use (See Figure 4.1)

Figure 4.1 illustrates the Land Use Plan with Sub District boundaries. Table 4.1 lists the Land Use Program with an overview of Permitted Uses in each Sub District. Section 4.2 lists General Provisions applying to the classification of land uses. Section 4.3 gives a detailed list of permitted and conditionally-permitted land uses for each Sub District.

The Land Use Plan is designed to create a unified commercial district that promotes internal pedestrian circulation and minimizes the need to drive between separate points in the development. The retail "focus street" is the key element that unifies the district, linking the east and west portions which are now divided by the Main Street Flood Control Channel.

The Land Use Plan creates six sub-districts within the Specific Plan Area. Permitted Land Uses listed in this Section, and Development Standards listed in Section 6, are organized according to the following sub-districts:

#### 4.1.1 Sub District One: Northwest

Sub District One includes the existing neighborhood shopping center and service station at the southwest corner of Main Street and Ontario Avenue. The Land Use Plan continues the existing neighborhood-oriented commercial use of the area and provides for expansion of the existing shopping center.

#### 4.1.2 Sub District Two: Southwest

Sub District Two lies directly south of Sub District One, with frontage along Main Street and Montoya Drive. The entire Sub District is presently vacant land. The Land Use Plan permits professional and medical offices, institutional uses (including financial institutions), senior citizen housing, a health care facility and limited commercial uses such as restaurants.

Senior citizen housing units are obligated to pay an "in-lieu" park dedication fee at the time a tract or parcel map records. All residential units are required to pay a park development fee at the time that building permits are applied for.

#### 4.1.3 Sub District Three: North Central

Sub District Three has frontages along Ontario Avenue and Main Street. The existing Peace Lutheran Church and Masonic Temple are located in the Sub District, and may be expanded. The Land Use Program permits professional and medical offices, institutional uses (including financial institutions), public buildings, and limited commercial uses. Property owners in this Sub District, with neighboring Sub District Four to the south and east, should form a parking district with shared parking. If a parking district is formed, the rear portion of the parcels in Sub District Three may be developed as a common parking area. If the parking district is not formed, the parcels may be developed separately, each with on-site parking.

Main Street South Plaza Specific Plan  
4.0 Land Use Plan

**4.1.4 Sub District Four: South Central**

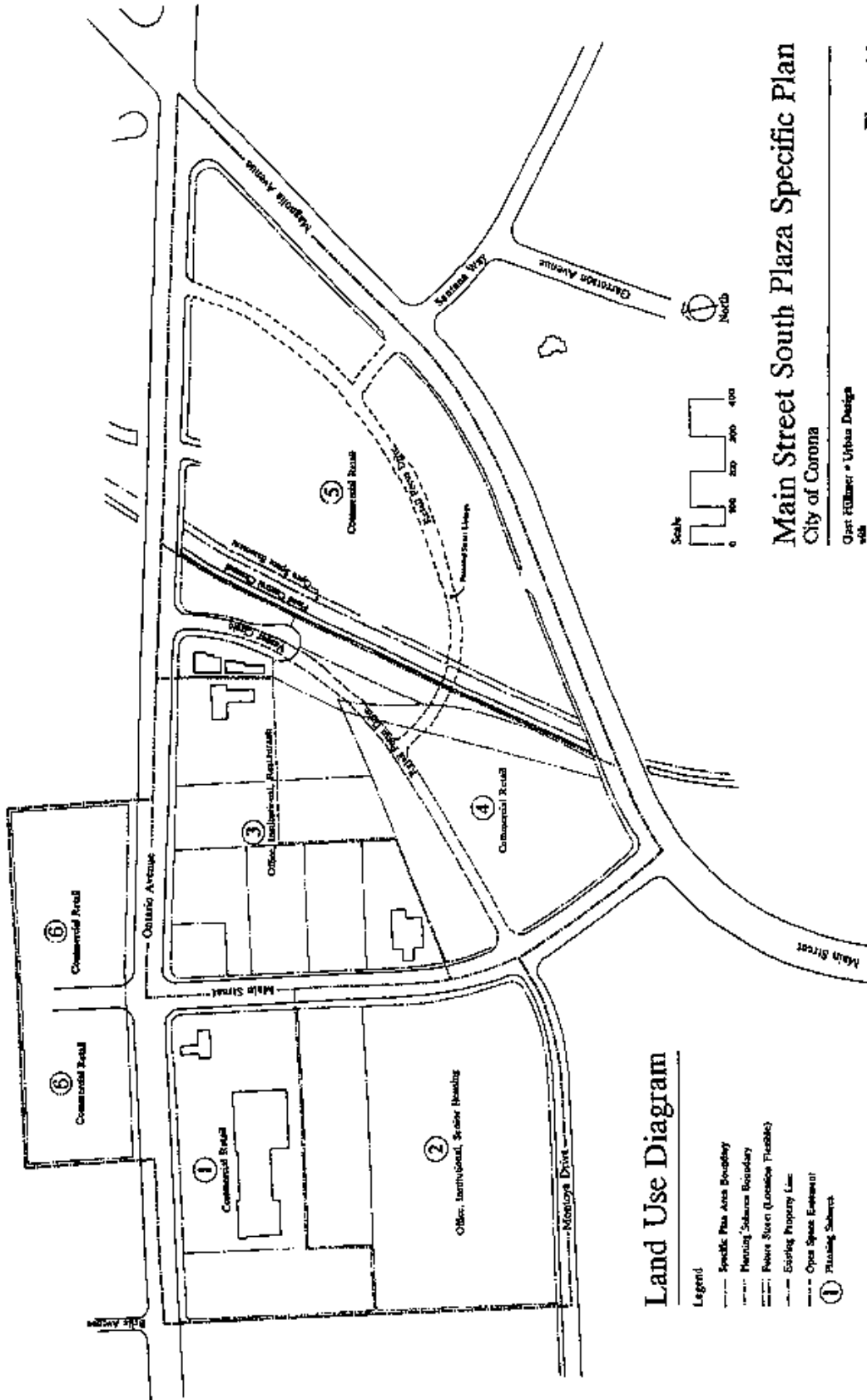
Sub District Four is designated for primarily retail uses, including a potential anchor store. Most retail activities in this Sub District are to be oriented toward the "retail focus street." The office building at Ontario Avenue and Vesper Circle is the only existing building in the Sub District. This use may remain, or be redeveloped for retail activities.

**4.1.5 Sub District Five: East**

Sub District Five, which includes all of the Specific Plan Area east of the Main Street Flood Control Channel, is the largest property in the area currently under a single ownership. The land use program designates the area for primarily retail uses, which may be oriented to Ontario Avenue, Magnolia Avenue and the retail "focus drive." The "focus drive" must be provided as a pedestrian and automobile linkage with the commercial district west of the Flood Control Channel.

**4.1.6 Sub District Six: North**

Sub District Six includes all of the Specific Plan area north of Ontario Avenue (see Figure 4.1). The land uses for this area are streamlined in order to provide more neighborhood-oriented commercial developments with pedestrian amenities. Unlike the architectural requirements for the specific area south of Ontario Avenue, this district will have more of a traditional California village concept that is compatible with surrounding residential structures.



### Land Use Diagram

- Legend:
- Specific Plan Area Boundary
  - Planning Subarea Boundary
  - Future Street Location (Locatable)
  - Existing Property Line
  - Open Space Element
  - ① Planning Subarea

### Main Street South Plaza Specific Plan City of Corona

Clare Hillier + Urban Design  
with  
William Kuehnel and Associates, Inc.  
Corona, California

Figure 4.1

Main Street South Plaza Specific Plan  
4.0 Land Use Plan

<b>Table 4.1 LAND USE PROGRAM</b>	
Main Street South Plaza Specific Plan	
(See Table 4.2 for detailed list of Permitted Land Uses.)	
Planning Sub District	Conceptual Land Use
1. Sub District One: Northwest	<ul style="list-style-type: none"> <li>• Neighborhood Retail</li> </ul>
2. Sub District Two: Southwest	<ul style="list-style-type: none"> <li>• Professional and Medical Offices</li> <li>• Institutional</li> <li>• Financial Institutions</li> <li>• Senior Citizen Residential</li> <li>• Health Care Facility</li> </ul>
3. Sub District Three: North Central	<ul style="list-style-type: none"> <li>• Professional and Medical Offices</li> <li>• Institutional</li> <li>• Financial Institutions</li> <li>• Restaurants</li> </ul>
4. Sub District Four: South Central	<ul style="list-style-type: none"> <li>• Community Retail/Services</li> <li>• Specialty Retail</li> <li>• Financial Institutions</li> <li>• Restaurants</li> </ul>
5. Sub District Five: East	<ul style="list-style-type: none"> <li>• Community Retail</li> <li>• Specialty Retail</li> <li>• Financial Institutions</li> <li>• Restaurants</li> </ul>
6. Sub District Six: North	<ul style="list-style-type: none"> <li>• Neighborhood Retail</li> <li>• Restaurants</li> </ul>

Main Street South Plaza Specific Plan  
4.0 Land Use Plan

**4.2 Permitted and Conditional Uses**

**4.2.1 Relationship to the Corona Municipal Code**

All uses shall be subject to the applicable provisions of Title 17, the Zoning Ordinance of the Corona Municipal Code. Where differences between this Specific Plan and the Zoning Ordinance occur, the Specific Plan shall prevail.

All definitions listed in Chapter 17.04 of the Zoning Ordinance shall apply to this Specific Plan.

**4.2.2 Nonconforming Uses, Conditional Use Permits and Variances**

Regulations regarding Nonconforming Uses, Conditional Use Permits and Variances shall be as provided in the City of Corona Zoning Ordinance.

**4.2.3 Table of Permitted and Conditional Uses**

Table 4.2 lists Land Use classifications that are permitted, or permitted with a Conditional Use Permit, in each of the six Sub Districts of the Specific Plan Area. The categories listed in Table 4.2 are as follows:

"P"	Permitted Use, subject to Precise Plan Review.
"CUP"	Permitted with a Major Conditional Use Permit, subject to Precise Plan Review, <u>if</u> applicable.
"BZA"	Permitted Use, subject to the review and approval of the Board of Zoning Adjustment.
"NP"	Not Permitted.
"MCUP"	Permitted with a Minor Conditional Use Permit, subject to PP review, if applicable.

No structure or land shall be used, and no structure erected, structurally altered or enlarged, except as permitted in Table 4.2.

**4.2.4 Unlisted Uses**

All proposed uses not listed in Table 4.2 shall follow the provisions of the Zoning Ordinance of the City of Corona regarding similar uses.

Unlisted uses that are not found to be similar uses under the above provisions are not permitted.

Main Street South Plaza Specific Plan  
4.0 Land Use Plan

**TABLE 4.2**  
**PERMITTED LAND USES**

Use Type: P = Permitted Use  
 CUP = Permitted by Major Conditional Use Permit  
 MCUP = Permitted by Minor Conditional Use Permit  
 BZA = Permitted Use, subject to the review and approval of the Board of Zoning Adjustment  
 NP = Not Permitted  
 \* = Focus Street only - subject to the review & approval of the Planning Director.  
 \*\* = Only in conjunction with senior citizen housing units.  
 \*\*\* = Not permitted along focus street.

	Sub District One: Northwest	Sub District Two: Southwest	Sub District Three: North Central	Sub District Four: South Central	Sub District Five: East	Sub District Six: North
<b>AUTOMOTIVE</b>						
Automobile parts sales	NP	NP	NP	NP	CUP	NP
Automobile service station (no repairs)	P	NP	NP	NP	P	NP
<b>FOOD</b>						
Bakery goods shop	P	NP	P	P	P	P
Coffee shop	P	NP	P	P	P	P
Delicatessen	P	NP	P	P	P	P
Food kiosk	NP	NP	NP	*P	*P	NP
Grocery store <sup>1</sup>	P	NP	NP	P	P	P
Ice cream, yogurt shop, candy	P	NP	P	P	P	P
Restaurant or cafe (excluding drive-in and Drive-thru facilities)	P	P	P	P	P	P
Restaurant with drive-in or drive-thru service	CUP	NP	NP	NP	CUP	CUP <sup>2</sup>
Restaurant or cafe with Ancillary Game Arcade	NP	NP	NP	NP	Per CMC 17.40	NP
<b>HOUSING</b>						
Housing (senior citizen)	NP	P	NP	NP	NP	NP
Residential, multi-family <sup>4,5</sup>	P	P	P	P	P	P

<sup>1</sup>For specialty grocery stores, outdoor displays are allowed so long as a minimum of four-feet of clear area is maintained around the displays, and the displays are located next to the building.

<sup>2</sup>Limited to 1,800 square feet of building area based on the findings and certification of the Main Street Village Final EIR.

<sup>3</sup> Subject to the supplemental development standards of Section 17.33.160 of the Corona Municipal Code.

<sup>4</sup> Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65852.24 subject to the requirements of Corona Municipal Code Chapter 17.31.

<sup>5</sup> Residential permitted for a housing development project proposed pursuant to Cal Gov't Code § 65912.100 et seq.

Main Street South Plaza Specific Plan  
4.0 Land Use Plan

	<b>Sub District One: Northwest</b>	<b>Sub District Two: Southwest</b>	<b>Sub District Three: North Central</b>	<b>Sub District Four: South Central</b>	<b>Sub District Five: East</b>	<b>Sub District Six: North</b>
INSTITUTIONAL						
Church equal to or exceeding an overall combined floor area of 10,000 square feet	NP	Major CUP (CUP)	Major CUP (CUP)	NP	NP	NP
Church not exceeding an overall combined floor area of 10,000 square feet	NP	Minor CUP (MCUP)	Minor CUP (MCUP)	NP	NP	NP
Club or lodge	CUP	CUP	CUP	CUP	CUP	NP
Cultural Center	P	P	P	P	P	P
Post Office	P	P	P	P	P	P
OFFICE						
Design Studio	P	P	P	P	P	P
Offices - business, professional	P	P	P	P	P	P
Financial Institution with drive thru service	P	NP	NP	P	P	CUP
RETAIL						
Antique shop	P	NP	NP	P	P	P
Bicycle shop	P	NP	NP	P	P	P
Book & Stationery store	P	NP	NP	P	P	P
Clothes and wearing apparel shop	P	NP	NP	P	P	P
Drug store with drive-thru service	P	NP	P	CUP	CUP	CUP
Decorating or drapery shop	P	NP	P	P	P	P
Electronics store	P	NP	NP	P	P	P
Film, camera sales and exchange	P	NP	NP	P	P	P
Flower shop	P	NP	NP	P	P	P
Furniture store, new only	P	NP	NP	P	P	P
General retail	P	NP	NP	P	P	P
Gift shop	P	P	P	P	P	P
Hardware and appliance store	P	NP	NP	P	P	NP
Hobby shop	P	NP	NP	P	P	P
Merchant kiosk	NP	NP	NP	*P	NP	NP

Main Street South Plaza Specific Plan

4.0 Land Use Plan

	<b>Sub District One: Northwest</b>	<b>Sub District Two: Southwest</b>	<b>Sub District Three: North Central</b>	<b>Sub District Four: South Central</b>	<b>Sub District Five: East</b>	<b>Sub District Six: North</b>
RETAIL (continued)						
Office supply store	P	P	P	P	P	NP
Paint store	P	NP	NP	P	P	P
Pet shop	P	NP	NP	P	P	P
Pharmacy or medical supplies	P	P	P	P	P	P
Sporting goods store	P	NP	NP	P	P	P
Tobacco store <sup>2</sup>	MCUP	NP	NP	NP	MCUP	MCUP
SERVICE						
Barbershop	P	P	P	P	P	P
Beauty shop	P	P	P	P	P	P
Business college <sup>1</sup>	P	P	P	NP	NP	NP
Catering establishment	P	P	P	P	P	P
Clothes cleaning facility	P	NP	NP	NP	P	P
Commercial mail box, mailing center	P	P	P	P	P	P
Counseling service	P	P	P	P	P	P
Day care facilities	P	P	P	P	P	MCUP
Department store	NP	NP	NP	P	P	NP
Drugstore	P	P	NP	P	P	P
Financial institution (bank, savings and loan, credit union)	P	P	P	P	P	P
Health care or medical facility	NP	P	P	NP	NP	P
Health club or recreation Facility	P	P	NP	P	P	P
Medical and dental laboratory	NP	P	P	NP	NP	NP
Medical and dental offices	P	P	P	P	P	P
Playgrounds and courtyards	P	P	P	P	P	P
Photographer	P	P	P	P	P	P
Private school (pre-school – 8 <sup>th</sup> grade)	P	P	P	NP	NP	NP
Private school (9 <sup>th</sup> – 12 <sup>th</sup> grade)	P	P	P	NP	NP	NP
Secretarial services	P	P	P	P	P	NP
Shoe repair shop	P	NP	NP	P	P	P
Smoking lounge <sup>3</sup>	MCUP	NP	NP	NP	MCUP	MCUP

<sup>1</sup> Not to exceed 50 students at any one time.

<sup>2</sup> Subject to the provisions of Chapter 5.19 of the Corona Municipal Code.

<sup>3</sup> Subject to the supplemental development standards of Section 17.33.160 of the Corona Municipal Code.



Main Street South Plaza Specific Plan  
4.0 Land Use Plan

	Sub District One: Northwest	Sub District Two: Southwest	Sub District Three: North Central	Sub District Four: South Central	Sub District Five: East	Sub District Six: North
SERVICE (Continued)						
Tailor shop	P	NP	NP	P	P	P
Theater, indoor	CUP	CUP	CUP	CUP	CUP	NP
Travel agency	P	P	P	P	P	P
Video games arcade	NP	NP	NP	NP	NP	NP
Video/music sales	P	NP	NP	P	P	P

**4.3 Open Space System**

The Open Space System of the Specific Plan Area are described in this section.

**4.3.1 The Plaza.**

The Plaza is the district's primary outdoor focus space and is to serve as a setting for activities, public gatherings and cafes. The preferred location is near the center of the Retail Focus Drive, on the west side of the Flood Control Channel. Other locations may be considered as detailed site plans are proposed.

The Plaza shall open to the Retail Focus Drive. It may surrounded by arcades, cafes/restaurants and retail shops and should be paved with color and textured materials, similar to a Spanish Plaza. Planting design should provide both sunny and shaded areas.

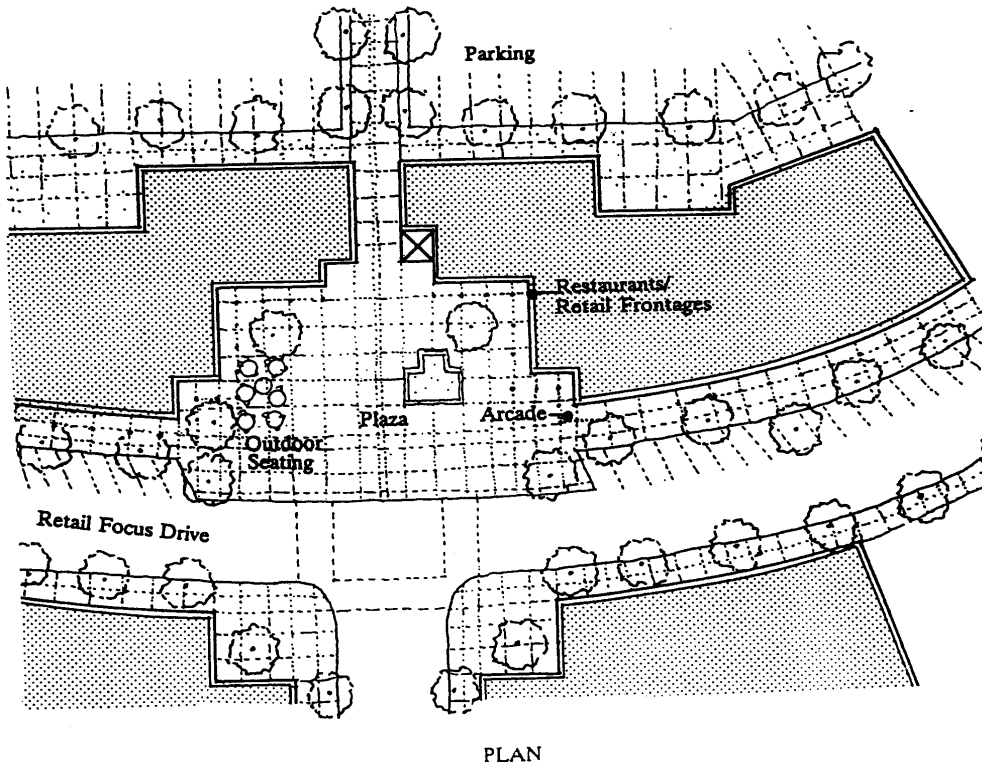


Figure 4.2 THE PLAZA

Main Street South Plaza Specific Plan  
4.0 Land Use Plan



PERSPECTIVE



SECTION

Figure 4.2 THE PLAZA

Main Street South Plaza Specific Plan  
4.0 Land Use Plan

**4.3.2 Pedestrian Path.**

A public common area for a pedestrian path is to be provided along the west edge of the Main Street Flood Control Channel.

The average width of the open space common area shall be 15 feet, but the width should vary to provide variety in the design of the outdoor spaces and landscape.

This new open space easement shall be located outside of (west of) the existing chain link fence enclosure which contains the flood control channel service road.

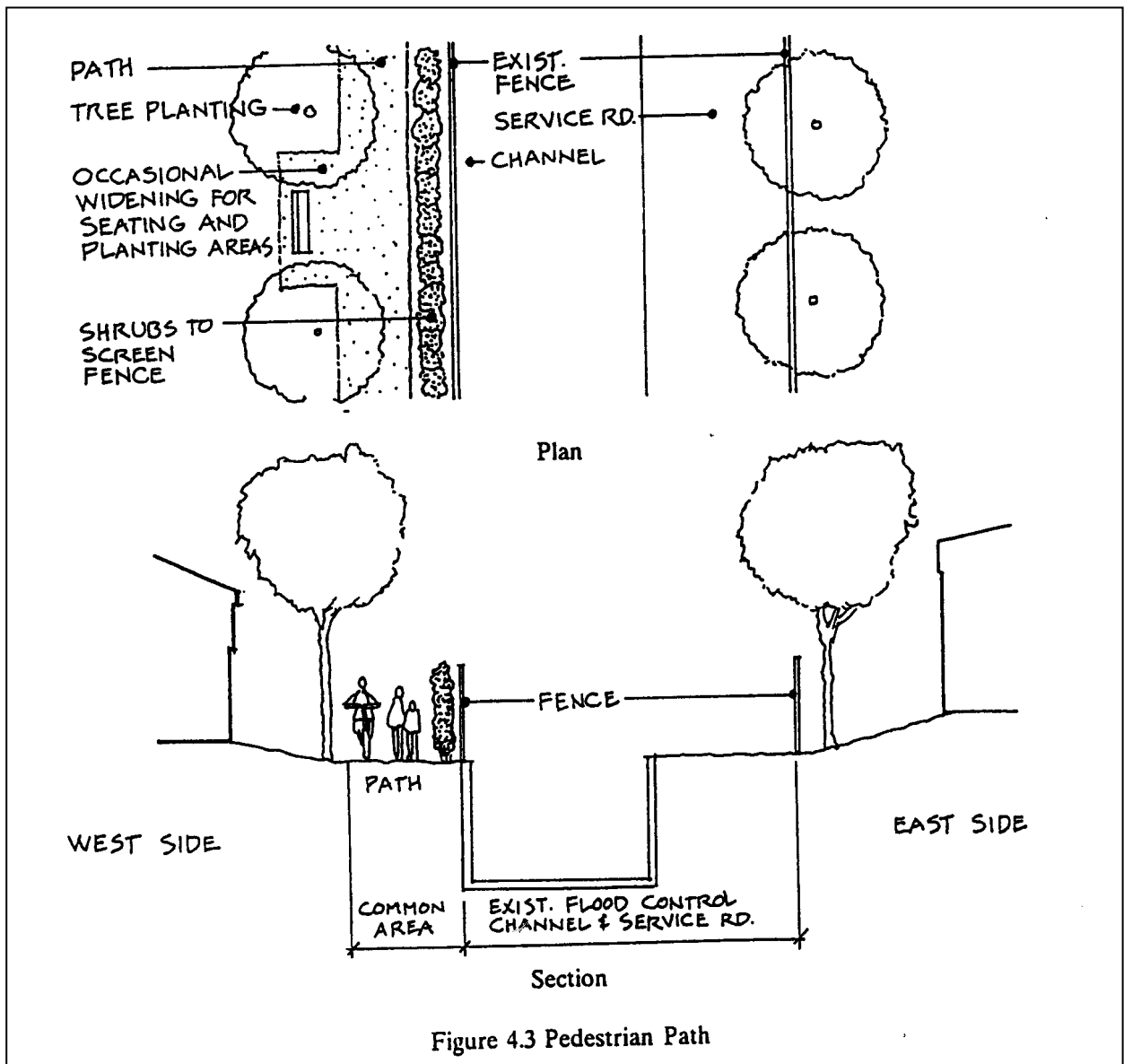


Figure 4.3 Pedestrian Path

Main Street South Plaza Specific Plan  
4.0 Land Use Plan

**4.3.3 Site Spaces for Outdoor Activities**

The Design Guidelines (Section 7.0) encourage courtyards, plaza, patios, gardens, covered walkways and other outdoor activity spaces in all private development. The most successful and memorable cities and towns in Southern California gain much of their character from the number and quality of defined outdoor spaces in the city fabric. These spaces will provide the pedestrian-emphasis sought for the district, and should be provided as important design elements in each new private development.

## 5.0 Infrastructure Plan

### 5.1 Circulation

#### 5.1.1 Existing Conditions <sup>2</sup>

Existing streets in and immediately adjacent to the Specific Plan Area include Main Street, Garretson Avenue, Magnolia Avenue and Ontario Avenue.

**Main Street** serves as a primary north-south roadway through the City of Corona from its interchange with SR-91. It is a 2-lane roadway from Grand Boulevard to Ontario Avenue. The existing (1991) Average Daily Traffic (ADT) volume on Main Street is estimated at 7,500 vehicles per day north of Ontario Avenue and 2,400 vehicles per day immediately south of Ontario Avenue.

**Garretson Avenue** is a 2-lane undivided roadway situated between Ontario Avenue and Upper Drive.

**Magnolia Avenue** is a 4-lane divided roadway that extends from the northeast at its interchange with I-15 southwesterly to Ontario Avenue. Magnolia Avenue presently becomes Garretson Avenue south of Ontario Avenue. The existing (1991) ADT volume on Magnolia Avenue, north of Ontario Avenue, is estimated at 5,500 vehicles per day.

**Ontario Avenue** serves as a primary east-west roadway through the City of Corona from its interchange with I-15 approximately 2 miles east of the project site. It is a 4-lane undivided roadway from Lincoln Avenue to midway between Taylor Avenue and Main Street where it transitions to a 2-lane undivided roadway. The roadway remains a 2-lane undivided roadway from this point to Kellogg Avenue. Between Kellogg Avenue and Fullerton Avenue, Ontario Avenue consists of 2 westbound lanes and 1 eastbound lane. The pavement width varies along Ontario Avenue throughout the project study area. The existing (1991) ADT volumes on Ontario Avenue are estimated to be 16,800 vehicles per day west of Main Street, 11,600 vehicles per day east of Main Street, and 7,800 vehicles per day west of Magnolia Avenue.

#### 5.1.2 Planned Improvements

##### 5.1.2 (a) Streets

The street classifications and cross-sections for Magnolia Avenue, Ontario Avenue and Main Street, shall be as shown in this Specific Plan, unless subsequently amended by the General Plan and South Corona Community Facilities Plan. In regard to Master Plan Street classifications, the General Plan and South Corona Community Facilities Plan shall take precedence over this Specific Plan. The following circulation improvements are proposed:

<sup>2</sup> Robert Bein, William Frost & Associates. Environmental Impact Report. Main Street South Redevelopment Project.

Main Street South Plaza Specific Plan  
5.0 Infrastructure Plan

**Magnolia Avenue** would be extended southerly from Ontario Avenue to align with existing Main Street, approximately 1,800 feet south of Ontario Avenue. Magnolia Avenue would be classified as a Major (6) Arterial from Ontario Avenue to Main Street. A Major (6) Arterial would have an ultimate right-of-way (ROW) of 120 feet.

**Main Street** would be classified as a Major (4) Arterial from the northern boundary of Sub District 6 to Magnolia Avenue, with a 100-foot right-of-way. Main Street would form a "T" intersection with Magnolia Avenue. Movements between Magnolia Avenue and Main Street would be designed as through movements. A portion of the existing roadway, south of the proposed Montoya Drive, would be vacated.

**Garretson Avenue** (existing) would be disconnected from the intersection of Magnolia Avenue and Ontario Avenue. The southern segment of Garretson Avenue would become a local road with a cul-de-sac at the north end.

**Ontario Avenue** would be classified as a Major (4) Arterial with a 127-foot right-of-way west of Main Street and as a Major (6) Arterial with a 127-foot right-of-way east of Main Street.

**Montoya Drive** (a new collector) is proposed along the southerly boundary of the project site and would form a "T" intersection with Main Street. Montoya Drive would have a 68-foot right-of-way.

**Santana Way** (a new collector) is proposed southeasterly of the project site, forming a "T" intersection with the extended Magnolia Avenue. Santana Way would have a 68-foot right-of-way.

**Retail "Focus Drive"** (a new drive) is proposed to link the east and west portions of the Specific Plan Area, now separated by the Main Street Flood Control Channel. This drive will originate, on the west, at the intersection of Montoya Drive and Main Street. It will terminate, on the east, at the intersection of Santana Way and Magnolia Avenue. A bridge is to be provided crossing the Main Street Flood Control Channel, subject to guidelines and approval of the Riverside County Flood Control District. The drive right-of-way is to vary in cross section from 54 feet (30 feet curb-to-curb) to 64 feet (40 feet curb-to-curb), depending upon location. The wider cross section occurs where diagonal parking is located.

**Vesper Circle** (existing) is a local cul-de-sac south of Ontario Avenue, presently with a 60-foot right of-way. The present right-of-way at the north end of Vesper Circle may remain as it exists. The drive is to be extended southward from the present cul-de-sac to merge with the new retail "focus drive." The right-of-way for the new extended portion of the street shall be similar to the retail "focus drive." Depending upon the future development character standards of the "Focus Drive," Vesper Circle may be reclassified to a private drive.

### 5.1.2 (b) Traffic Signals

Traffic signals are required for the following intersections within the Specific Plan Area:

- Main Street at Ontario Avenue
- Main Street at Montoya Drive/Retail Focus Street
- Main Street at Magnolia Avenue
- Magnolia Avenue at Ontario Avenue
- Magnolia Avenue at Santana Way/Retail Focus Street

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The signals noted above are funded through the South Corona Master Plan Facilities Funding Program. However, the developer will be responsible for upgrading the traffic signals.

Upon further traffic analysis, an additional traffic signal may be required at the intersection of Ontario Avenue/main entrance to Sub-District Five, to be installed at the developers expense. This intersection may have full turn movements, but shall be fully pre-wired for the possible future signal.

**5.1.2 (c) Access**

In order to promote the efficient flow of traffic and reduce traffic congestion on major arterials, turning movements into and from private driveways are to be minimized. Access to the major arterials listed below shall be as shown in Figure 5.1. Any modifications to this plan shall be subject to the approval of the City Engineer and based upon the findings of a traffic study.

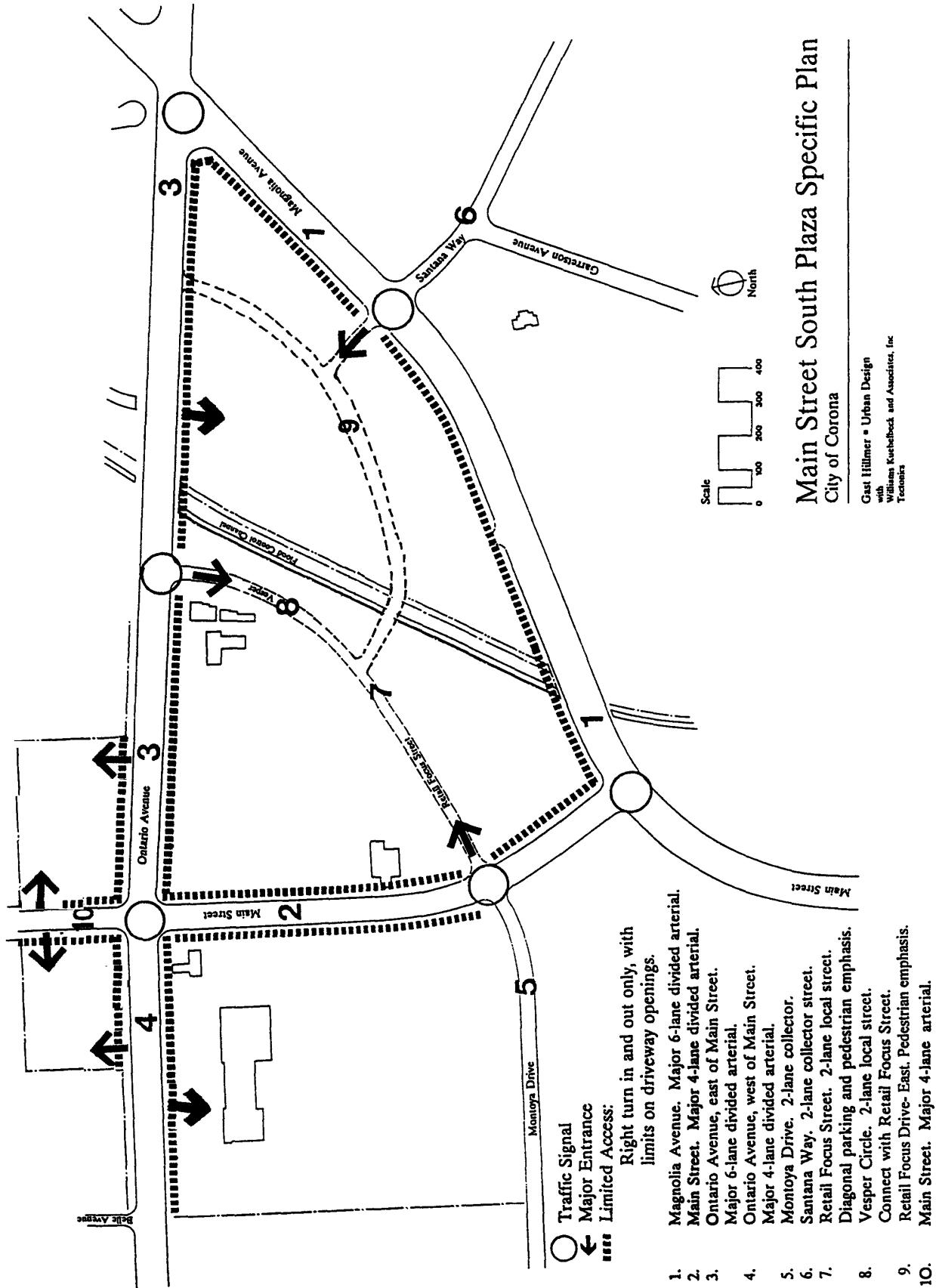
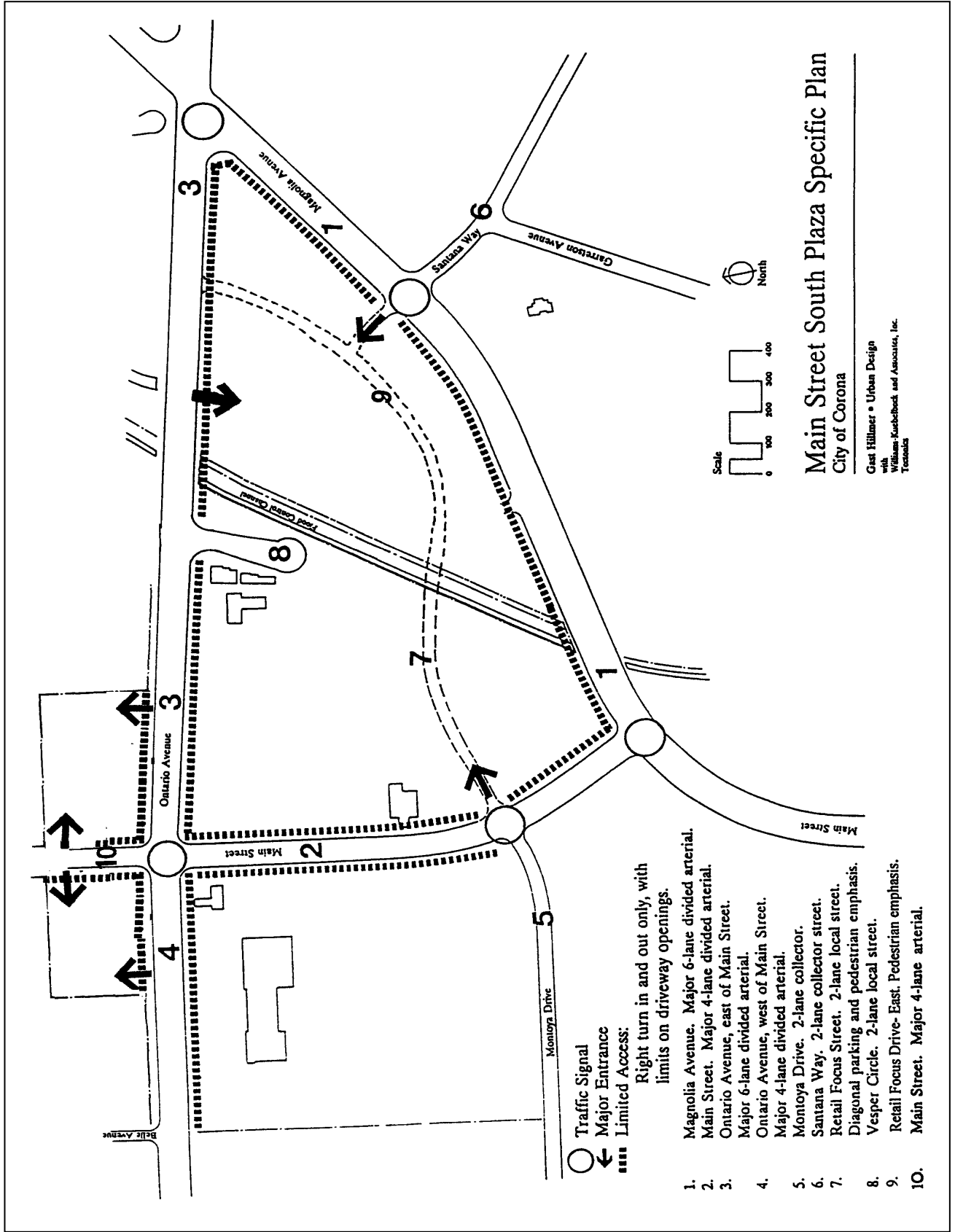


Figure 5.1 Circulation System with Planned Improvements





Preferred Alternative per Council  
Resolution No. 95-35

Figure 5.1.A Focus Drive Alternative 1

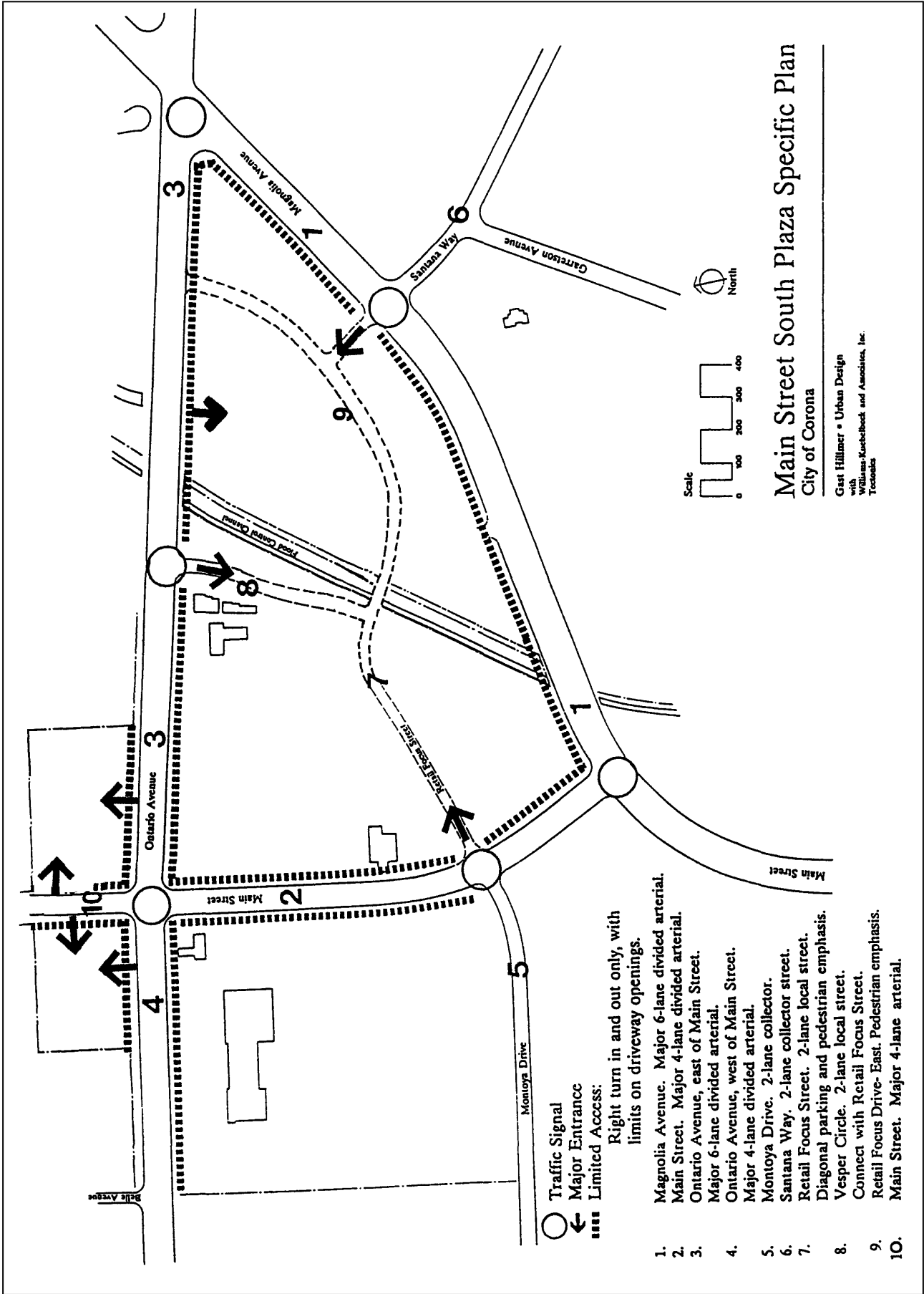


Figure 5.1.B Focus Drive Alternative 2

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## **5.2 Utilities**

### **5.2.1 Water**

Water services to the site are provided by the City of Corona, which derives its water supply from several sources, including local wells and the Metropolitan Water District of Southern California. The site receives water from the City's Lester Avenue Water Treatment Plant.

#### **Existing Infrastructure**

An 18-inch water main exists along Ontario Avenue (Figure 5.2). This line presently serves existing development on Vesper Circle through a connecting 10-inch line. Commercial establishments and the supermarket on the southwestern edge of the Main Street and Ontario Avenue intersection are served with an eight-inch line.

Water service to the existing site is currently provided from Zones 3 and 4. The existing water distribution system in Zone 4 is not fully developed and consequently cannot serve the entire development within Zone 4 without the construction of off-site Zone 4 improvements. Zone 4 currently supplies water to existing land uses on and adjacent to the project site via a 10-inch supply line running northward on Main Street.

#### **Implications of Growth**

The City currently estimates water consumption of typical commercial developments to average 3,500 gallons per acre per day. This translates to a total site water requirement when completely built out of approximately 238,000 gallons per day. Clearly, successful development of the site is contingent upon the development of the necessary infrastructure and supply network for Zone 4.

Funding to develop the Master Plan Zone 4 infrastructure has been approved. The exact time-frame and phasing of these improvements are unclear at this time, but estimated to be within the next two to three years. Zone 4 improvements are expected to include: expansion of the Lester Avenue Treatment Plant; development of the Master Plan booster pump facilities; the development of an additional reservoir; and the necessary water transmission pipeline network.

In terms of the current capacity of the existing water distribution system, the primary consideration for continued service from Zone 3 to the proposed site will be the ability of the water system to maintain necessary water pressure for fire hydrants. Since the site falls just outside the designated boundaries of Zone 3, maintaining satisfactory pressure in fire lines will be difficult if water is tapped from the Zone 3 network. Furthermore, the pad elevation of development in these areas should not exceed 920 feet. Thus, it is questionable that this arrangement can or should be maintained.

Pressure Zone 4 constitutes the largest proposed development area within South Corona. Existing capacity in the Zone 4 system is available to developers on a first-come first-served basis. If all of the available capacity could be utilized, it would accommodate only a portion of proposed development. Without infrastructural upgrades, the availability of water will decrease over time as new developments occur.

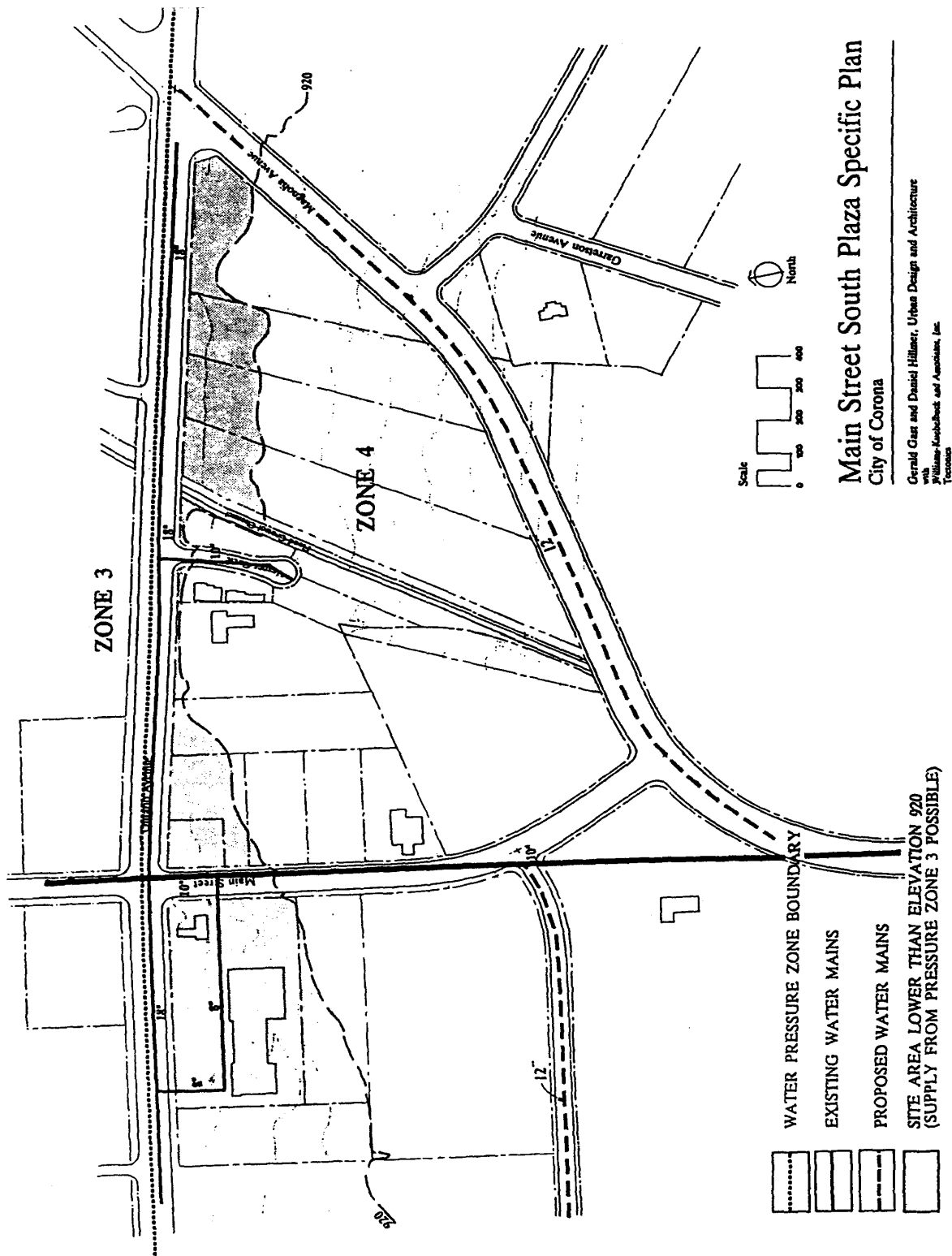


Figure 5.2 Water System

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5.0 Infrastructure Plan

**5.2.2 Sanitary Sewers**

The proposed Specific Plan Area is part of the incorporated areas of Corona. Sewer service to these incorporated areas is provided by the City of Corona Utilities Department. The backbone sewage system for South Corona utilizes the natural south to north slope for gravity flows.

**Existing Infrastructure**

As identified in the City's Sewer System Master Plan, the site falls within two drainage areas: F3 and F4 (Figure 5.2 ). Drainage area F4 is not currently used by the site. Drainage area F3 drains westerly in Ontario Avenue and northerly in Buena Vista Avenue. Both Main Street and Taylor Avenue have existing sewer trunk lines extending southward from Ontario Avenue which connects them through a 10-inch line. The Main Street segment has a 10-inch sewer line extending approximately 3,500 feet southward, while Taylor Avenue has an eight-inch line extending approximately 2,000 feet south of Ontario Avenue. Tributary area F4 discharges to the east in Ontario Avenue and to the north in Garretson Avenue.

Currently, there is a Master Plan 8-inch sewer line within the proposed development. This sewer line is located within Tributary Area F4 running parallel to the east side of the flood control channel, and continues in Ontario Avenue from the channel to Garretson Avenue.

There are two wastewater treatment plants that service Corona. The Corona Waste Water Treatment Plant #1 (WWTP #1) is located on Clearwater Drive in the northwest corner of the City near the Corona Municipal Airport. The Corona Waste Water Treatment Plant #2 (WWTP #2) is located west of the Temescal Channel and north of the Riverside Freeway (Route 91) on Harrison Avenue.

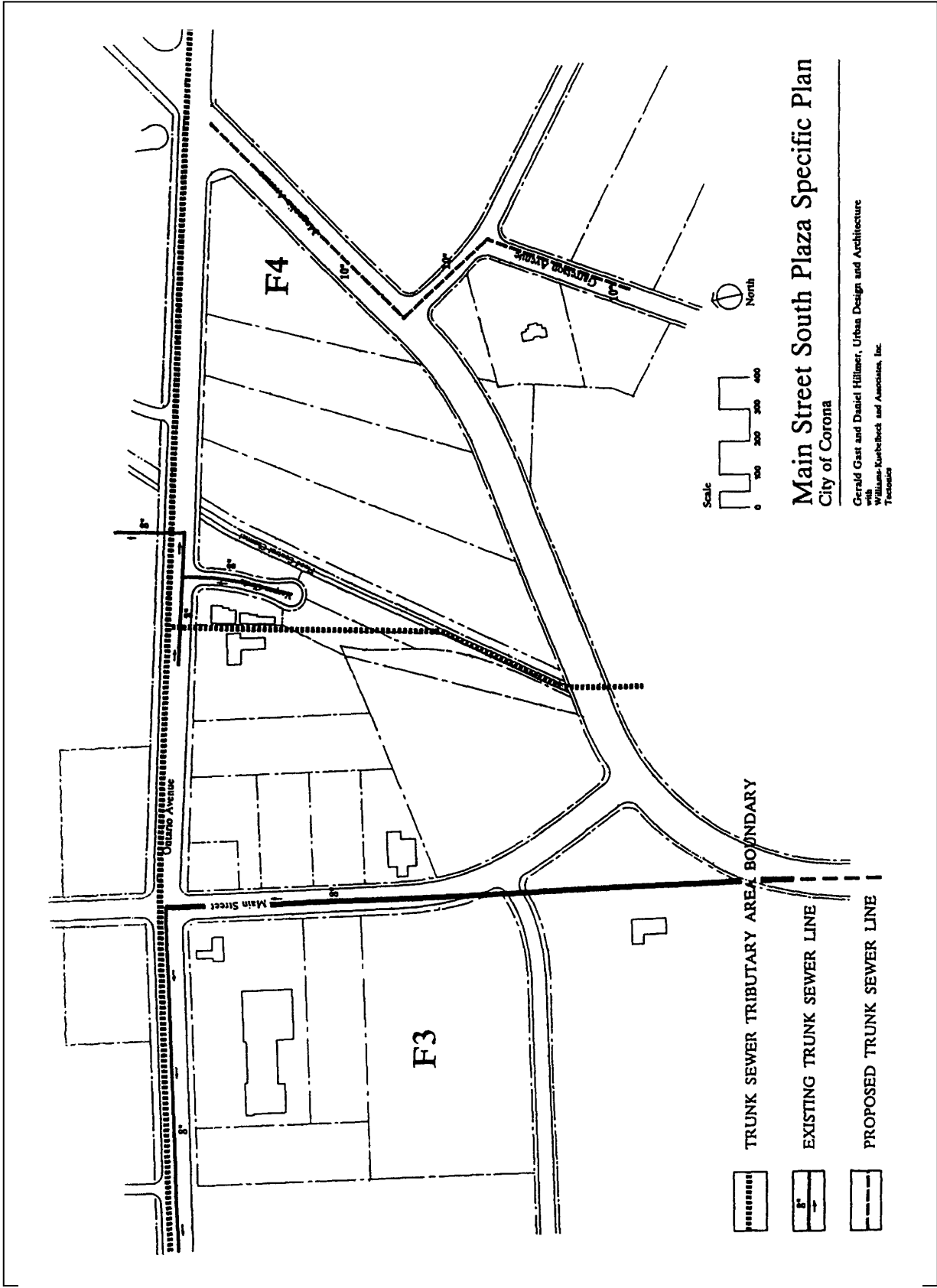


Figure 5.3 Sanitary Sewer System

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### **Implications of Growth**

The City of Corona estimates the sewage generated from typical commercial sites to be 2,220 gallons per acre per day. Accordingly, when fully developed, the entire site is expected to generate approximately 173,000 gallons of sewage per day. The existing sewage backbone network as described above is considered by the City Utilities Services Department to be adequate to convey this volume of effluent from the site.

The existing trunk lines along Main Street and Taylor Avenue will be able to serve development on the western portion of the site. It is expected that as development adjacent to the site occurs, these lines will be extended further south. Drainage Area F4 is to drain easterly on Ontario Avenue to Garretson Avenue and then due north on Garretson.

Continued use of the line currently serving Vesper Circle is dependent upon maintaining existing flows to the system. This portion of the Specific Plan Area falls within Drainage Area F3 as per the South Corona Community Facilities Plan; therefore, flows in excess of current volume will need to flow toward the Main Street trunk line. Connections to the Main Street trunk line may occur within the site or be extended from within the Ontario Avenue right-of-way.

The project site will be serviced by the Corona Wastewater Treatment Plant (WWTP #1). Although capacity at WWTP #1 is able to handle the discharge from this development, WWTP #1 is due to undergo an expansion of its sewage treatment capacity. Upon completion, it will accommodate some of the diverted flows from the WWTP #2 facility. This diversion of flow will enable WWTP #2 to expand its capacity. Additional sewage treatment capacity is available to the area through a wastewater treatment facility in Orange County which is accessed through the Santa Ana Regional Interceptor (SARI) wastewater line when necessary. The City of Corona has previously purchased capacity in the SARI wastewater line..

### **5.2.3 Storm Drainage**

The site is presently bisected by the Main Street Drainage Channel which conflues downstream with the Temescal Wash Channel and upstream with the Main Street Debris Basin. This channel has been upgraded to convey 100-year runoff flows from all tributary areas including the anticipated development of the project site. The channel will be maintained by the Riverside County Flood Control & Water Conservation District (RCFC&WCD) as part of the overall master plan drainage system for South Corona.

### **Existing Infrastructure**

The site is located within portions of basins 1, 7R, and 7J. The extent of these basins is shown in Figure 5.4. The western half of the site is located within basin 1 which drains north and west toward Taylor Avenue. The easternmost fourth of the site is located within basin 7J and drains north and east toward Magnolia Avenue then north into the Main Street Channel. The remaining fourth of the site, located immediately east and north of the Main Street Channel, is within basin 7 R and drains directly into the Channel.

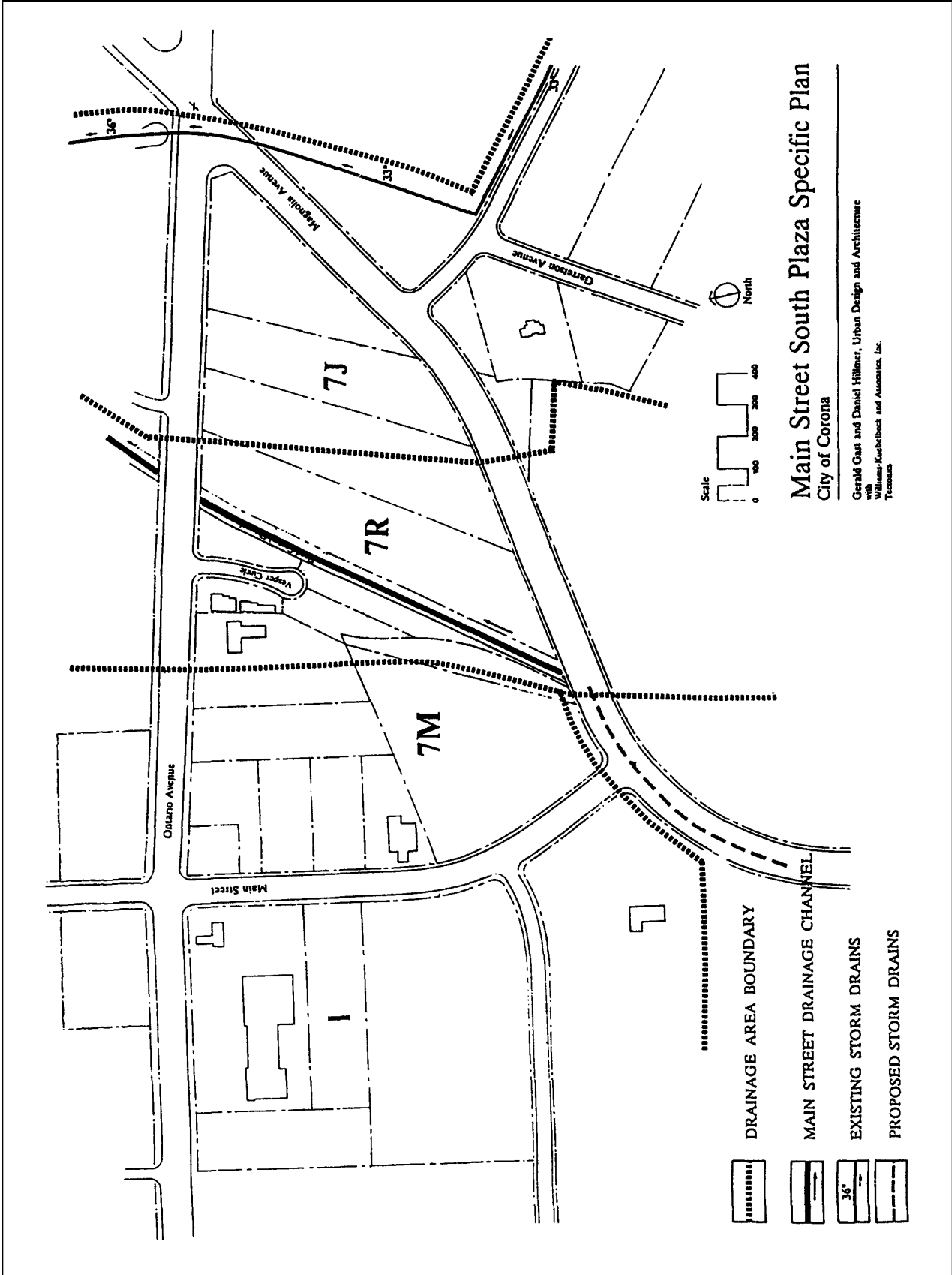


Figure 5.4 Drainage and Storm Sewer System



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**Implications of Growth**

Development of the project site will result in an increase in impervious surfaces which would raise runoff volumes and rates. Drainage downstream would result in significant impacts if left unmitigated. There are several design criteria specified in the South Corona Community Facilities Plan for managing site drainage, including maintaining 10-year flows within street curbs, and 100-year flows within street rights-of-way. One travel lane in each direction is to remain free from storm flows. Consequently, storm drains within the site will need to be underground systems within new street rights-of-way.

The northern portion of the 51-inch Taylor Avenue storm drain serving Area 1 is scheduled to be upgraded. It will entail the addition of a new 45-inch parallel drainage pipe to provide additional capacity. Improvements to the southern portion of the Taylor Avenue drain are expected to occur only two to three years later. Should site development within Drainage Area 1 occur prior to this upgrade and require additional storm drainage capacity, the City of Corona may approve development pending upgrade of the downstream and upstream portions of the Taylor Avenue storm drain. Alternatively, the developer may upgrade the necessary portion of the storm drain earlier than scheduled, after entering into a reimbursement agreement with either the City of Corona, CFD 89-1, or CFD 90-1.

The existing 36-inch storm drain on Garretson Avenue is anticipated to be connected to a new storm drainage system to be installed within the realigned Magnolia Avenue right-of-way.

Site development within Drainage Area 1 shall not occur prior to the construction of the upstream portion of the Taylor Avenue storm drain detention basin.

**5.2.4 Electric**

The Edison Company will provide power supply for the total build out of the site is adequate within the parameters of their projected planned growth and will be available as necessary.

**Existing Infrastructure**

Ontario Avenue currently has 12KV overhead lines. The Chase Substation is dedicated to supplying power to the site.

**Implications of Growth**

The proposed Specific Plan project is expected to require approximately 5.7 million Kilowatt hours (Kwh) per year. This figure includes approximately 377,000 Kwh for potential residential and 5,369,000 Kwh for retail uses.

Development on the site will be serviced off the Ontario Avenue 12KV overhead lines. These lines may be ducted underground at some future time. The new alignment of Magnolia Avenue will contain underground cables and ducting within its new right-of-way.

Long-range power distribution plans for the area include the development of a new substation for northern Corona. When complete, more circuits at the Chase Substation will be available for future development.

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5.0 Infrastructure Plan

**5.2.5 Telecommunications**

Telephone and communications services to the site will be provided by Pacific Bell. The utility company has indicated that the existing infrastructure in place is adequate to satisfy both immediate and expected future needs of the site.

**Existing Infrastructure**

Existing telephone supply lines consist of overhead lines along Ontario Avenue.

**Implications of Growth**

Pacific Bell has issued a "Will Serve" letter of intent indicating its ability to provide necessary services to the site. Existing lines will be able to accommodate substantial increases in demand and may eventually be upgraded to underground ducting as a result of project development. Service to the commercial parcel will be fed from the east of the site. The developer will be responsible for trench and conduit provisions as per Pacific Bell specifications.

Infrastructural improvements necessary to service both South Corona and the site are expected to occur in advance of anticipated site development as Pacific Bell has both sufficient existing capacity and time to install future utility upgrades.

**5.2.6 Gas**

The Southern California Gas Company will provide gas service to South Corona.

**Existing Infrastructure**

A six-inch gas main currently supplies gas along Ontario Street and connects to a three-inch line along Main Street (Figure 5. ). Existing commercial and office development on Vesper Circle is served by a two-inch gas line running within its right-of-way.

**Implications of Growth**

Based on the typical residential consumption rate provided by SCG and a worst-case (highest density) scenario, potential residential use for the proposed Specific Plan is expected to amount to approximately 38,000 therms (3.8 million cubic feet) of natural gas per year. The retail component would total approximately 15.6 million cubic feet per year.

SCG has indicated that existing gas facilities have the capacity to serve the proposed project.

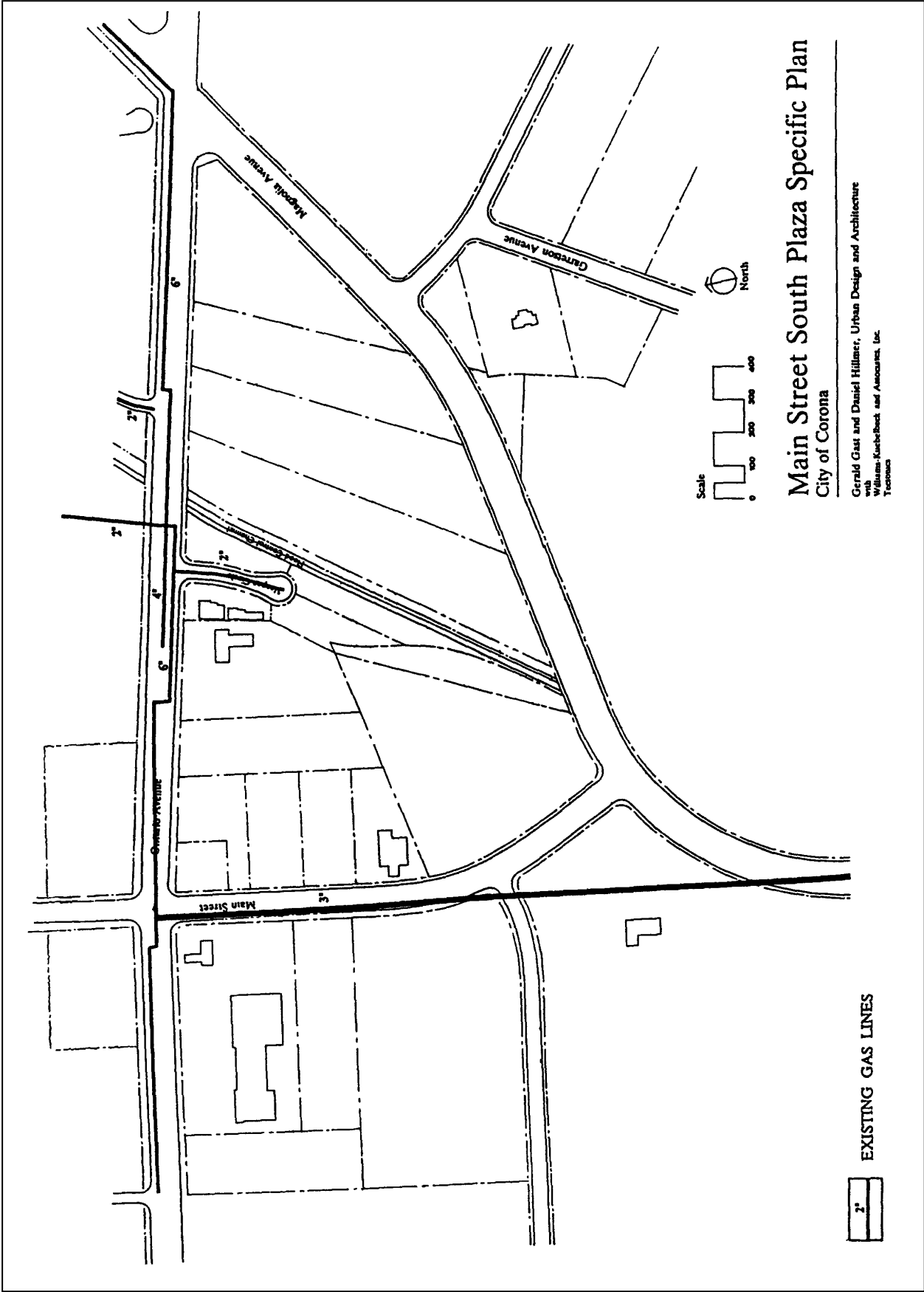


Figure 5.5 Gas System

## 6.0 Development Standards

### 6.1 Commercial, Office and Institutional Land uses

The following property development standards shall apply to all non-residential land uses and buildings in the Specific Plan Area.

#### 6.1.1 Lot Area

No minimum area required.

#### 6.1.2 Maximum Coverage

Maximum Coverage shall not exceed 50% of the lot area.

#### 6.1.3 Building Height

- a) Sub Districts One through Five

Maximum Building Height and Number of Stories: Two stories, not to exceed a maximum building height of forty (40) feet. A third story, with maximum building height of fifty-five (55) feet, is permitted subject to the discretion of the Planning Commission through the Precise Plan process. A mezzanine is considered to be a story and shall count toward the maximum number of stories of the structure.

- b) Sub District Six

Maximum Building Height and Number of Stories: Single story, not to exceed a maximum building height of thirty (30) feet. Architectural elements, such as roof pitches and towers that are essential to the proportionality and architecture of the building shall not exceed a height of forty (40) feet, as approved through the precise plan process.

#### **Building Height – Definition**

Building Height shall mean the vertical distance measured from the adjoining curb level to the highest point of the structure; provided, however, that where buildings are set back from the curb line, the height shall be measured from the average elevation of the finished grade at the front of the building.

#### **Building Height- Exceptions**

Appurtenances such as chimneys, open lattice structures, ventilators, flagpoles, steeples, pylons and towers with a maximum cross-sectional plan area of 100 square feet and meeting building code requirements may be permitted subject to the approval of the Planning Commission.

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**6.1.4 Building Setbacks**

a) Sub Districts One through Five

Each development shall have a 25 foot fully landscaped yard on the following public streets: Ontario Avenue, Main Street, and Montoya Drive. Magnolia Avenue shall have a fully landscaped yard of 20 foot for a 120 foot ROW and 25 foot for a 100 foot ROW. Off-street parking is not permitted with this yard area.

Within Sub District 1, the 25 foot full landscaped yard may be reduced at the discretion of the Planning Commission through the Precise Plan approval process.

There shall be no yard requirement on Vesper Circle except for a five-foot wide sidewalk. There shall be no yard requirement on the proposed Focus Drive, except for a 12 foot wide sidewalk as required under Section 7.1.6 (e) of the Design Guidelines.

There are no side or rear yard requirements except where new development abuts a street or residential zone. A 20 foot landscape setback shall be provided on the commercial property when it abuts a residential zone. This setback may be waived by the Planning Commission, during the precise plan process, if the adjacent residential property is determined to have adequate buffering, such as a slope.

b) Sub District Six

Each development shall have a 25 foot landscape setback from Main Street and Ontario Avenue. The setback within this sub-district may be reduced to 15 feet along public streets if outdoor patio seating is provided on the building pad. Said area shall be defined by decorative paving and enclosed by a three foot high ornamental iron fence or garden wall. A five foot wide sidewalk shall also be maintained between the parking lot and areas designated for patio seating, if applicable. Off street parking is not permitted within this area.

There are no side or rear yard requirements except where new development abuts a street or residential zone. A 20 foot landscape setback shall be provided on the commercial property when it abuts a residential zone. This setback may be waived by the Planning Commission, during the precise plan process, if the adjacent residential property is determined to have adequate buffering, such as a slope.

**6.1.5 Walls and Fences**

The provisions of Chapter 17.70 of the Corona Municipal Code shall apply.

An opaque screen shall be installed along all exterior boundaries, other than streets, where the parcel abuts areas designated for residential use. Said screen shall consist of decorative materials and shall have a total height of not less than 6 feet.

Screening shall be no higher than 3 feet within 20 feet of the point of intersection of any vehicular access way and a street, sidewalk or other vehicular access way measured from the property line.

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**6.1.6 Off-Street Parking**

- a. Except as provided below, the provisions of Chapter 17.76 of the Corona Municipal Code shall apply.
- b. When parking spaces face onto a street, a 36" screen wall shall be provided. This screening may include dense landscaping.
- c. Reduction in parking requirement.

If a special parking district or authority is formed by the City, Redevelopment Agency or property owners in conjunction with a Precise Plan, the Planning Commission may reduce the off-street parking requirements imposed by Chapter 17.76 by up to 20% provided that:

- 1) The Planning Commission, before granting a reduction in the off-street parking requirement, shall make a finding that the reduction will not have an adverse effect on future site development, and that,
  - 2) The Planning Commission, in granting a reduction, may impose reasonable conditions which shall assure the intent and purpose of this procedure.
- d. Parking along the Focus Drive shall apply toward the minimum parking requirement.
  - e. Also, see Section 7.2.4 of the Design Guidelines.

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**6.1.7 Landscaping**

In addition to the standards of Section 3.3.7 of the *South Corona Community Facilities Plan*, the following also shall apply.

a) Streetscapes

1) Street Trees:

- Street trees shall be planted along all public and private streets. Follow the spacing and selection guidelines listed in Section 7.1 "Streetscapes."
  - Required tree plantings shall be a minimum size 24" box. In the case of Palms, they shall be at least 20 feet high.
  - Existing street trees that are retained may substitute for the street tree requirement.
  - All street tree selections are subject to Parks and Recreation Department approval.

2) Perimeters

- The parkways, LMDs, and medians for Main Street, Ontario Avenue, Magnolia Avenue, and Montoya Drive are required as shown in section 7.1 of the Design Guidelines.

3) Retail Focus Drive

- Landscaping and paving are required as shown in Section 7.1.6 of the Design Guidelines.

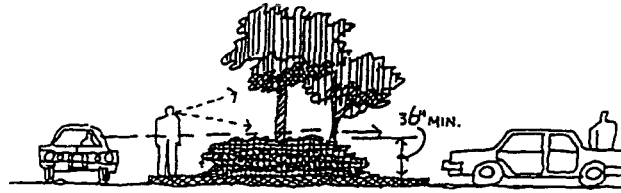
b) On-Site Landscaping

1) Parking Lot Perimeters

- Off-street parking lots shall be visually screened from street view by planting or a combination of planting and low walls or earth berms.
- A continuous screen at least 36 inches high shall be formed by a solid wall, earth berm or planting. If shrubs are used to create the screen, the shrubs shall be a minimum of 36 inches in height after three years' growth. Space shrubs in massed plantings so that branches intertwine. Solid walls used for screening shall be accompanied by a minimum 5-foot wide landscaped edge facing the street.
- Planted perimeter areas shall be at least 10 feet deep along public streets and 5 feet deep along interior property lines, except when adjacent to residential, where the perimeter shall be 20 feet, or as permitted per section 6.1.4.b. Parking lots shall follow the tree planting requirements contained in Section 17.70.070(c)(3) of the Corona Municipal Code, except that a minimum of 25 percent of all trees shall be 24-inch box with the remaining trees 15 gallon size.

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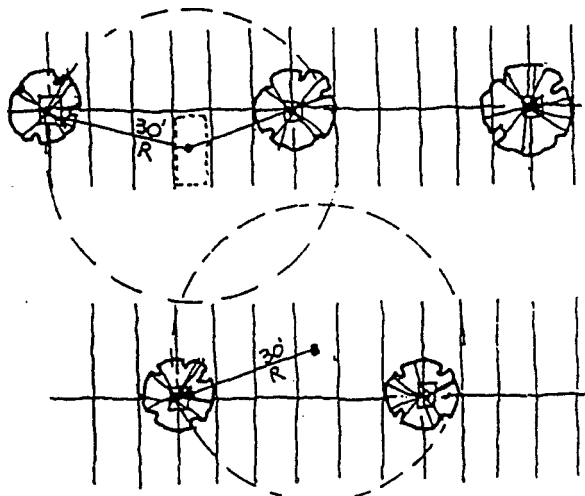
- Public parking lots shall be set back at least 10 feet from the face of a building. The 10-foot area between the parking lot and building shall be fully landscaped, unless used as a pedestrian walkway or vehicular access. This area may consist of a 5 foot sidewalk and a 5 foot landscaped planter.



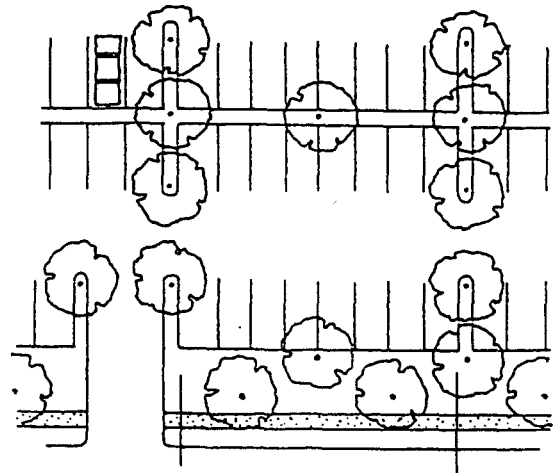
Parking Lot Perimeter Planting.

2) Internal Parking Lot Planting

- The primary objective of parking lot design is to create small-scale parking courts, rather than large parking lots. To achieve this objective, parking lots shall be divided into smaller areas by building placement, landscaping or pedestrian spaces.
- Parking lots shall include internal planting to develop tree canopies that soften the visual impact of the lot and provide relief from heat build-up.
- For all parking lots greater than 5,000 square feet, an internal area at least 10 percent of the total parking area shall be planted with a combination of trees and shrubs. Tree spacing shall be such that every designated parking space is within 30 feet of the trunk of a tree (minimum 24-inch box size).



30 Foot Parking Radius



Parking with Planted Break.



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**6.1.8 Loading and Storage Areas**

- a. All loading and storage areas shall be shielded from view from commercial streets and residential uses by containment within a building or in an area enclosed by a wall a minimum of five feet in height. Materials and colors shall be consistent with that used for the principal structure.
- b. All loading activities in Sub District Six shall be oriented away from the adjacent residential neighborhood and internally oriented within the commercial center.
- c. All building operating mechanical equipment shall be screened from view.
- d. The provisions of Chapter 17.79 (Trash Enclosures) shall apply.

**6.1.9 Signage**

Signs shall be regulated and controlled as specified under Section 17.74 of the Corona Municipal Code, except for the following modifications. (Also see Section 7.5 of the Design Guidelines.)

- a. Signs shall contain only such subject matter which refers to the name of the establishment or to the goods and services (no brand names) sold on the premises on which the sign is located.
- b. The following sign types are permitted in the Specific Plan Area:
  - Projecting signs. Maximum area 4 square feet. Projecting signs must be at least 8 feet above walking surfaces.
  - Awning valence signs.
  - Window signs.
  - Monument signs. See Paragraph 6.1.9(c) below
- c. A monument sign identifying a shopping center group of shops shall be permitted along the parcel frontage adjacent to a public street. Monument signs are permitted within building setbacks. The signs shall not be located in a public right-of-way or on the Focus Drive, except at the entrances and shall meet the corner cut-off area provisions of CMC Section 17.70.050. Monument signs shall not exceed a height of 6 feet.

With Sub-District 1, a commercial center may install two monument signs not to exceed 9.5 feet in height, with a maximum area of 50 square feet per sign face; and one monument sign not to exceed 12 feet in height, with a maximum sign area of 75 square feet per sign face. The center name shall be placed on the sign, and up to three principal users may be advertised on each sign. A free standing building located on an individual parcel may utilize a single tenant monument sign not exceeding six feet in height and shall be located outside corner cut-off areas set forth in CMC Section 17.70.050. Additional monument signs may be approved by the Planning Commission in conjunction with a precise plan application.

Within Sub District 2-4, the maximum area of the sign message shall not exceed 40 square feet per face and shall contain the name of the center and up to five tenants. Monument signs, except for structures

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described in CMC Section 17.70.040(B), shall be located outside corner cut-off areas set forth in CMC Section 17.70.050 and shall not exceed a height of 6 feet.

Within Sub District 5, the maximum area of the sign message shall not exceed 32 square feet per face and shall contain the name of the center and may contain the names of up to four major tenants. The height of the sign structure shall not exceed 12 feet.

Within Sub District 6, the maximum area of the sign message shall not exceed 35 square feet per face and shall contain the name of the center and up to four tenant spaces. Monument signs, except for structures described in CMC Section 17.70.040(B), shall be located outside corner cut-off areas set forth in CMC Section 17.70.050 and shall not exceed a height of 6 feet. Signs shall be oriented so that the face of the sign is away from the adjacent residential development.

- d. The maximum area of enterprise identification signs shall be three square feet per lineal foot of leased frontage up to 200 square feet for major tenants (6,000 square feet of floor area or more). Minor tenants' (less than 6,000 square feet of floor area) signage shall not exceed 75% of the store frontage and shall not exceed 42 inches in height. The Focus Drive shall only use awning window or hanging signs. The maximum sign area shall be one square foot per lineal foot of leased frontage up to 100 square feet. The letter size shall not exceed 24 inches in height.
- e. Within Sub-District 1, the maximum area of enterprise identification signs shall be 1.25 square feet per lineal foot of leased frontage, to a maximum of 210 square feet for major tenants (5,700 square feet of floor area or greater). Enterprise signs for minor tenants (less than 5,700 square feet of floor area) are limited to one square foot per lineal foot of leased frontage.
- f. Enterprise signs are allowed on three sides of the building. Within Sub District Six, no enterprise signs shall be located on building sides that are adjacent to or across from residential development.
- g. Within Sub-District 5, up to 4 on-site directories are permitted within the entrance drives. The signs shall be placed in compliance with CMC 17.70.050. The signs shall not exceed 8 square feet in area with the structure not to exceed 6 foot by 4 foot, with a sign panel area not to exceed 36 x 32 inches.
- h. The following sign types are not permitted in the Specific Plan Area:
  - Signs which move or which have moving parts of flashing lights
  - “Animated” signs, “billboards,” “direct light” signs, “directly illuminated” signs, “offsite” signs, “political” signs, and “roof” signs
  - “Pole” signs
  - “Portable” signs
  - “Internally illuminated plastic box or canister” signs

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**6.2 Residential Land Uses**

The following property development standards shall apply to residential land uses and buildings in the Specific Plan Area. Residential land uses are limited to senior citizen housing and may be located only in Sub District Two of the Specific Plan Area.

**6.2.1. Lot Area**

Minimum area: 1 acre.

**6.2.2. Density**

The maximum density of senior citizen dwelling units shall not exceed 50 units per acre.

**6.2.3 Architecture and Orientation**

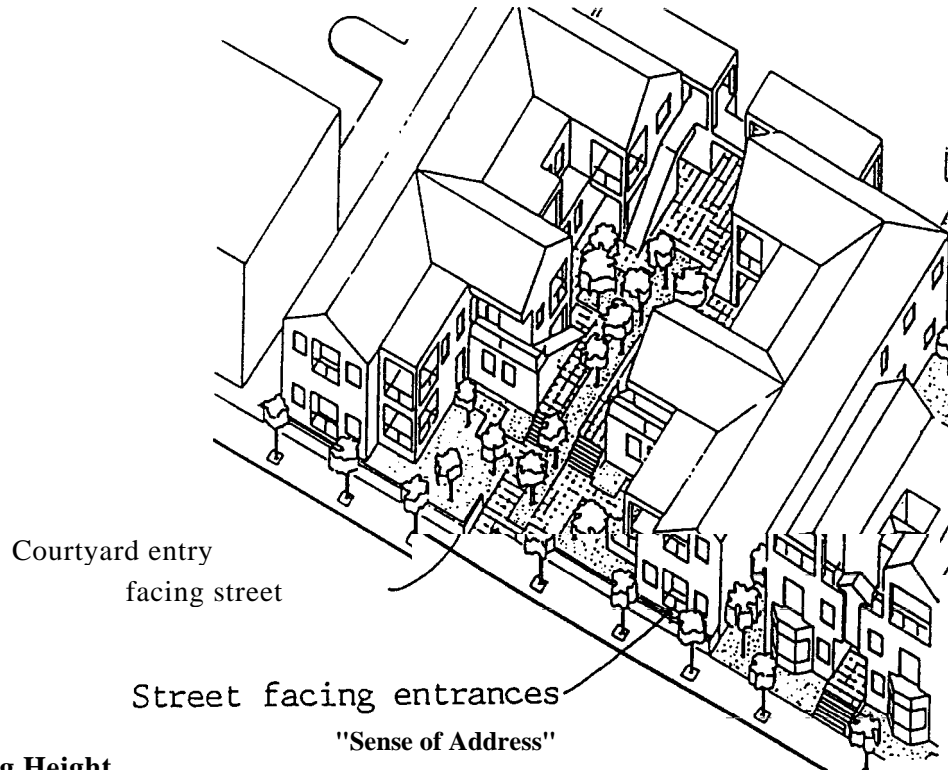
a. Site Organization

- All projects shall create street frontages with architectural and landscape interest.
- Private drives often serve as important entry sequences to dwellings and shall be treated with the same design concern as frontages along public streets. If private drives are used, they shall be approved by the City Engineer and incorporate the following:
  - Provide sidewalks on both sides of a private street/drive.
  - Create landscaped yard spaces between the buildings and the private drive.
  - Orient buildings and some building entrances toward the private drive.
  - Minimize the visual impact of garage doors, refuse containers and other service facilities along private drives.
- Minimize blank walls, garage doors, parking lots and driveway openings along all street frontages.

b. "Sense of Address"

- Each dwelling should have a "sense of address, " either toward the street or directly to an interior open space on the site, unless unit openings are located within the interior of the building. Hidden units to the rear of buildings, or units opening to parking lots, are discouraged.
- When an outdoor courtyard or garden is used as an entrance to dwellings, it is preferable that the courtyard or garden open directly to the street and sidewalk at the front of the site. If a courtyard door or security gate is used at the entry, it should be attractively designed as an important architectural feature of the building.

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**6.2.4 Building Height**

Maximum Building Height and Number of Stories: Two stories, not to exceed a maximum building height of forty (40) feet. A third story, with maximum building height of fifty-five (55) feet, is permitted subject to the discretion of the Planning Commission through Precise Plan Review. A mezzanine is considered to be a story and shall count toward the maximum number of stories of the structure.

**6.2.5 Building Setbacks**

- a. Each development shall have a fully landscaped yard of not less than 25 feet in depth along public and private streets. The depth of the yard shall be as measured perpendicular to the street-facing property line. Off-street parking is not permitted in this location. Within Sub District 1, the standards set forth in Section 6.1.4a shall apply.
- b. There shall be a 25 foot building setback adjacent to any residential zone or district as provided in the South Corona Community Facilities Plan.
- c. Adjacent to any commercial zone, the setback shall be 7.5 feet for one story buildings, 10 feet for two story buildings, and 15 feet for three story buildings.

**6.2.6 Coverage**

Lot area coverage by building or structure shall not exceed sixty percent of the total lot area

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**6.2.7 Walls and Fences**

The provisions of Chapter 17.70 of the City of Corona Municipal Code shall apply.

**6.2.8 Off-Street Parking**

The provisions of Chapter 17.76 of the City of Corona Municipal Code shall apply.

- Parking lots shall not be located in required front and side yard setback spaces, except when the internal side yard is adjacent to property that is zoned commercial, in which case a five (5) foot landscaped setback shall apply.

**6.2.9 Landscaping**

The standards of Section 3.3.7 of the *South Corona Community Facilities Plan* shall apply. Also, see Section 7.3 of the Design Guidelines.

**6.2.10 Trash Pickup Area**

The provisions of Chapter 17.79 of the City of Corona Municipal Code shall apply.

**6.2.11 Outdoor Living Space**

The following standards shall apply to all multiple dwellings:

- a. A portion of each lot, building site or parcel shall contain a minimum area of two hundred square feet of usable Outdoor Living Space for each dwelling unit or resident.
- b. Outdoor Living Space shall be allocated in the following manner:
  - 1) At least fifty percent of said space shall be provided in one or more common areas.
    - Swimming pools and recreation areas may be counted toward the required common area.
    - Each dimension of a common area shall be at least twenty feet.
    - At least thirty percent of the common area shall be permanently landscaped.
  - 2) Common and private outdoor living spaces shall be reasonably accessible to dwelling units served.
  - 3) In calculating the required area for common areas and private outdoor living spaces, driveways shall not be included.
- c. Through the Precise Plan process, the Planning Commission may count up to 25% of an indoor recreation area towards the common area requirement.
- d. Also see Section 7.2.6 (A) of the Design Guidelines.

## 7.0 Design Guidelines

All development proposals in the Specific Plan Area, including building additions and renovations, are subject to Precise Plan Review. The Design Guidelines serve as adopted criteria for the evaluation of a building or an entire development. Developers and their designers are urged to carefully review the Specific Plan, with particular attention to the Development Standards and Design Guidelines, before site planning and building design studies begin.

The Precise Plan Review Process and Submittal Requirements are described in Section 8.4.

Precise Plan Review is a comprehensive evaluation of those characteristics of a development which have an impact on neighboring properties and the community as a whole. The process makes a careful examination of a project's quality of site planning, architecture, landscape design and important details such as signage and lighting. The purpose is to insure that every development carefully considers the community context in which it takes place. Every project shall make a conscientious effort to develop a compatible relationship to the building site, neighboring properties, and the Specific Plan Area design objectives.

The Design Guidelines of this Section are listed as follows:

- 7.1 Streetscapes
  - Main Street, from Ontario Avenue to Magnolia Avenue
  - Main Street, from Ontario Avenue to northern boundary of Sub-District Six
  - Ontario Avenue, West of Main Street
  - Ontario Avenue, East of Main Street
  - Magnolia Avenue, between Ontario Avenue and Main Street Retail
  - Focus Street, between Main Street and Magnolia Avenue Vesper Circle
  - Montoya Drive, West of Main Street
- 7.2 Site Planning
- 7.3 Landscape Character
- 7.4 Architectural Character
- 7.5 Signage

### **7.1 Streetscapes**

The following streetscape guidelines are listed for each of the existing and planned streets in the Specific Plan Area. The streetscapes, which include the public sidewalks and parkway spaces along street frontages, are the most visible and important parts of the area's environment. A key objective along all streets is to strengthen pedestrian interest and encourage pedestrian activity.

Main Street South Plaza Specific Plan  
7.0 Design Guidelines

**7.1.1 Main Street**, from Ontario Avenue to Magnolia Avenue. (See Figure 7.1)

The urban design objective on Main Street is to continue the boulevard character that exists north of Ontario Avenue, completing a strong visual link between South Corona and the Corona city center.

The street right-of-way is 100 feet in cross section width and includes two travel lanes in each direction, a curb parking lane on each side, a 10 foot planted center median, and a parkway on each side. A fully-landscaped building setback of 25 feet from the edge of the right-of-way is provided on both the east and west sides, strengthening the boulevard character of Main Street. This continues the pattern of wide landscaped setbacks north of Ontario Avenue. Within Sub District 1, the 25 foot setback may be reduced per Section 6.1.4a.

Street trees, planted at a regular interval of 30 feet in the parkway strip, are *Washingtonia filifera* (California Fan Palm) and *Phoenix dactylifera* (Date Palm). The designated median tree is *Jacaranda mimosifolia*.

A 5-foot straight sidewalk, separated from the curb by the parkway strip, is to be provided.

Pedestrian-oriented "historical style" street lights are to be provided on both sides of the street, located in the parkway strip. See Section 7.1.6(c).

**Main Street**, between Ontario Avenue and Sub-District 6

The street right-of-way is 104 feet in cross section width. The north direction of travel will include two travel lanes and a parkway. The south direction of travel will include two travel lanes, a left turn lane, a right turn lane, a center median, and a parkway. A fully landscaped building setback of at least 15 feet, subject to Section 6.1.4b, from the edge of the right-of-way is provided on both the east and west sides, strengthening the boulevard character of Main Street.

Street trees are *Washingtonia filifera* (California Fan Palm), planted 40' on center, and *Washintonia Robusta*, planted 24' on center. The designated median tree is *Jacaranda mimosifolia*.

A 5-foot straight sidewalk, separated from the curb by the parkway strip, is to be provided.

Pedestrian-oriented "historical style" street lights are to be provided on both sides of the street, located in the parkway strip. See Section 7.1.6(c).

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**7.1.2 Ontario Avenue, West of Main Street.** (See Figure 7.2)

Ontario Avenue, west of Main Street, is a major 6 lane divided arterial. The urban design objective is to provide a landscaped parkway which forms a strong visual edge for the new South Corona community.

The street right-of-way is 127 feet in cross section width. The east direction of travel consists of 3 travel lanes and a parkway. The west direction of travel consists of 3 travel lanes, a right turn lane, a left turn lane, a center median and a parkway.

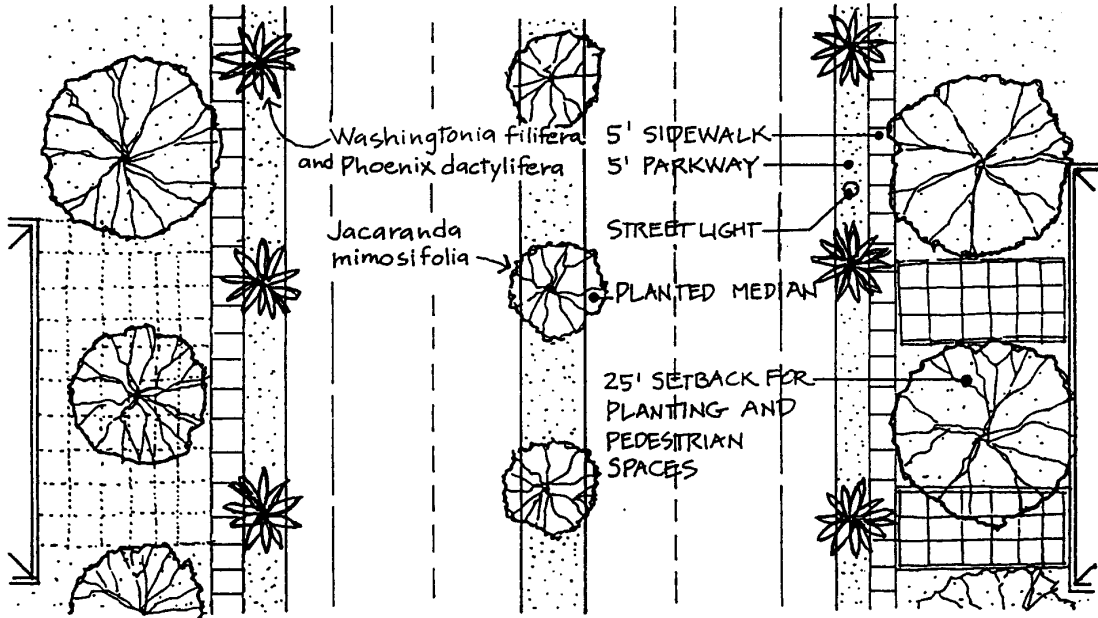
Street trees, planted at a regular interval of 40 feet, are to be *Koelreuteria bipinnata*. The designated median trees are *Magnolia (Grandiflora russett)* and *Washingtonia filifera*.

A 5-foot straight sidewalk, separated from the curb by the parkway strip, is to be provided.

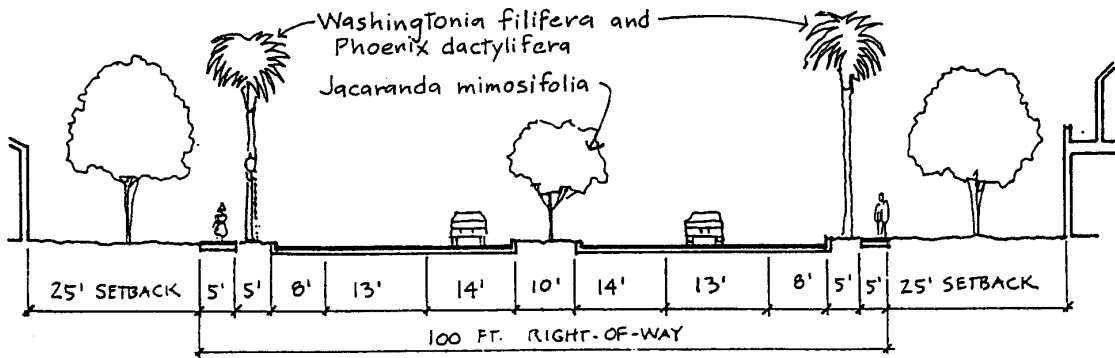
Building setbacks on the south side of Ontario Avenue (sub-district 1) are 25 feet from the street-facing property line, except as noted in Section 6.1.4a. Building setbacks on the north side of Ontario Avenue (sub-district 6) are 15 feet from the street facing property line if outdoor patio seating is provided on the building pad as prescribed in Section 6.1.4 (b).



Main Street South Plaza Specific Plan  
7.0 Design Guidelines

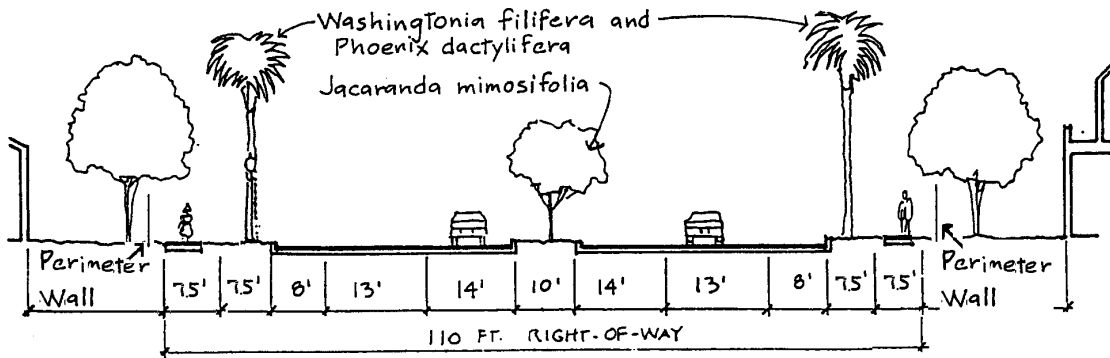
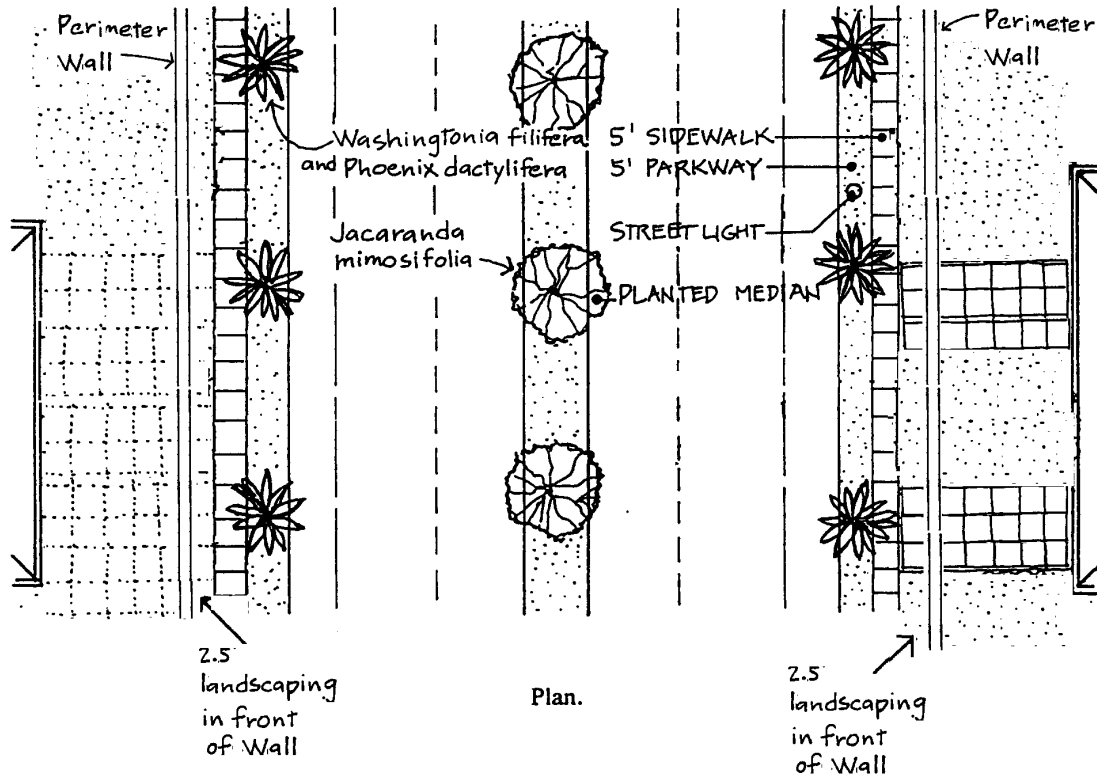


Plan.



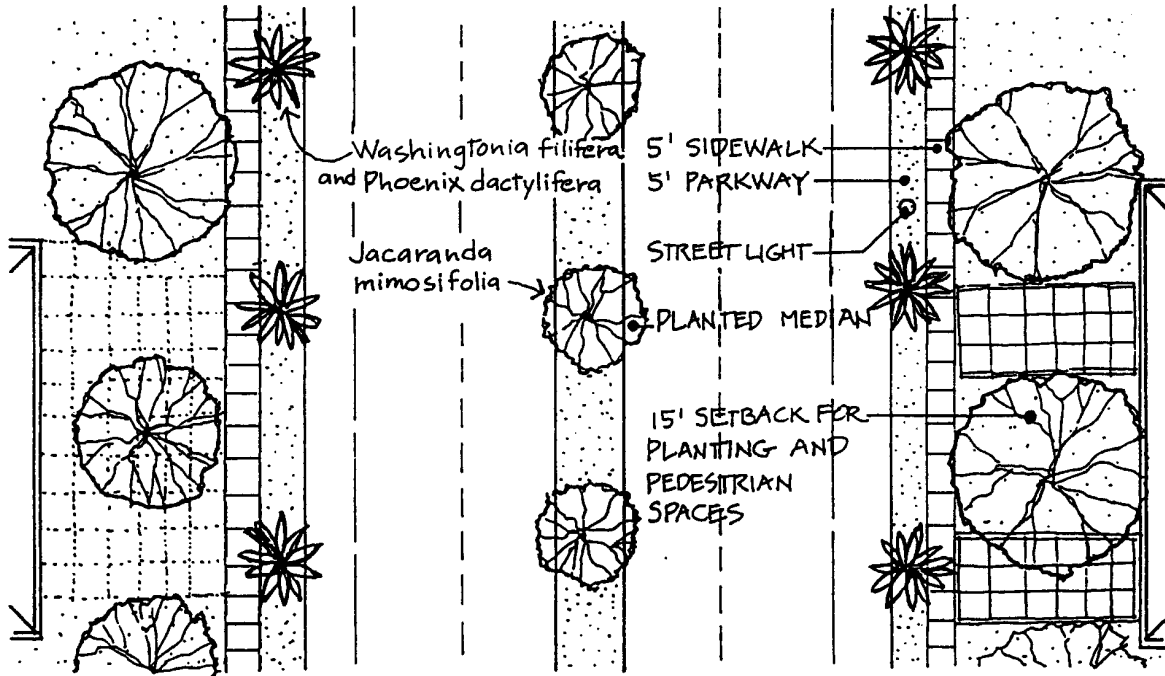
Section  
Figure 7.1 Main Street  
Ontario Ave. to Magnolia Ave.

Main Street South Plaza Specific Plan  
7.0 Design Guidelines

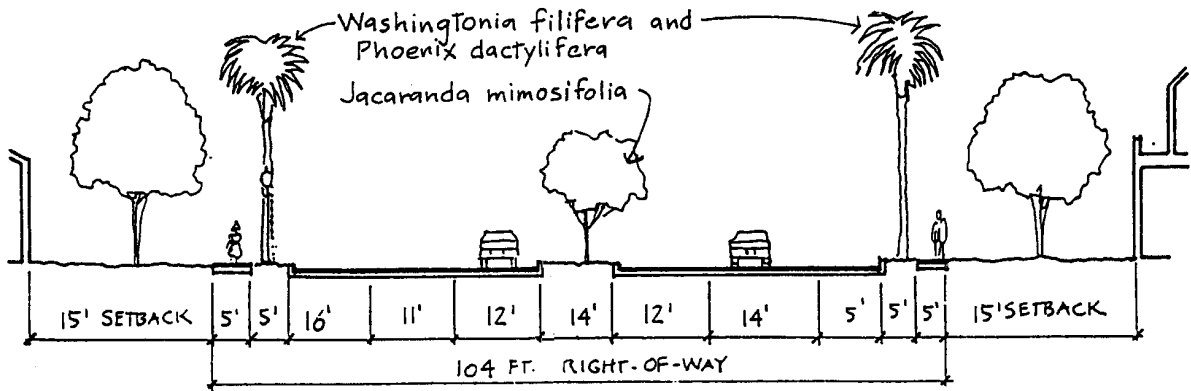


Section  
Figure 7.1.A Main Street  
Sub District 6 - Residential

Main Street South Plaza Specific Plan  
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Plan.



Section  
Figure 7.1.B Main Street  
Sub District 6 - Commercial

Main Street South Plaza Specific Plan  
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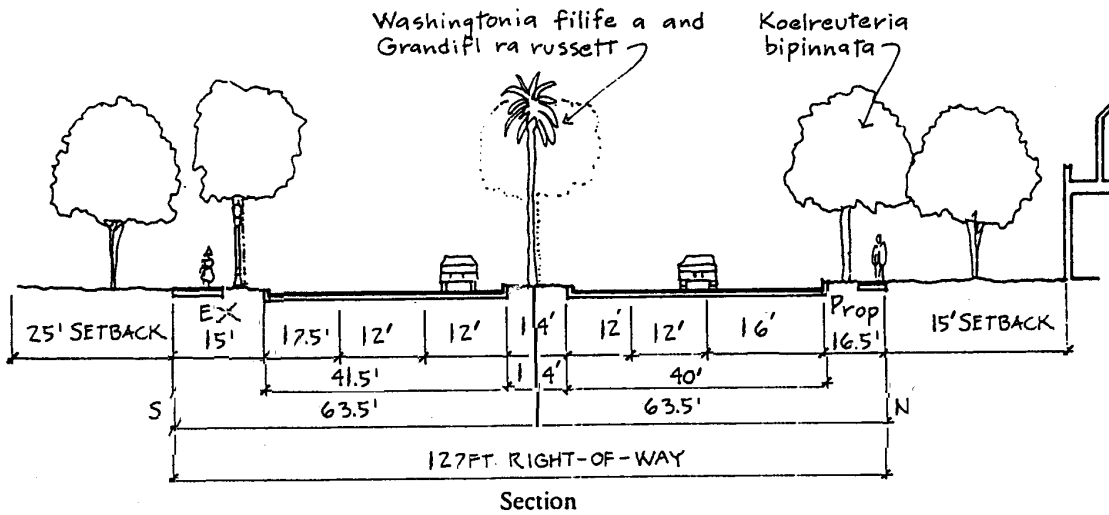
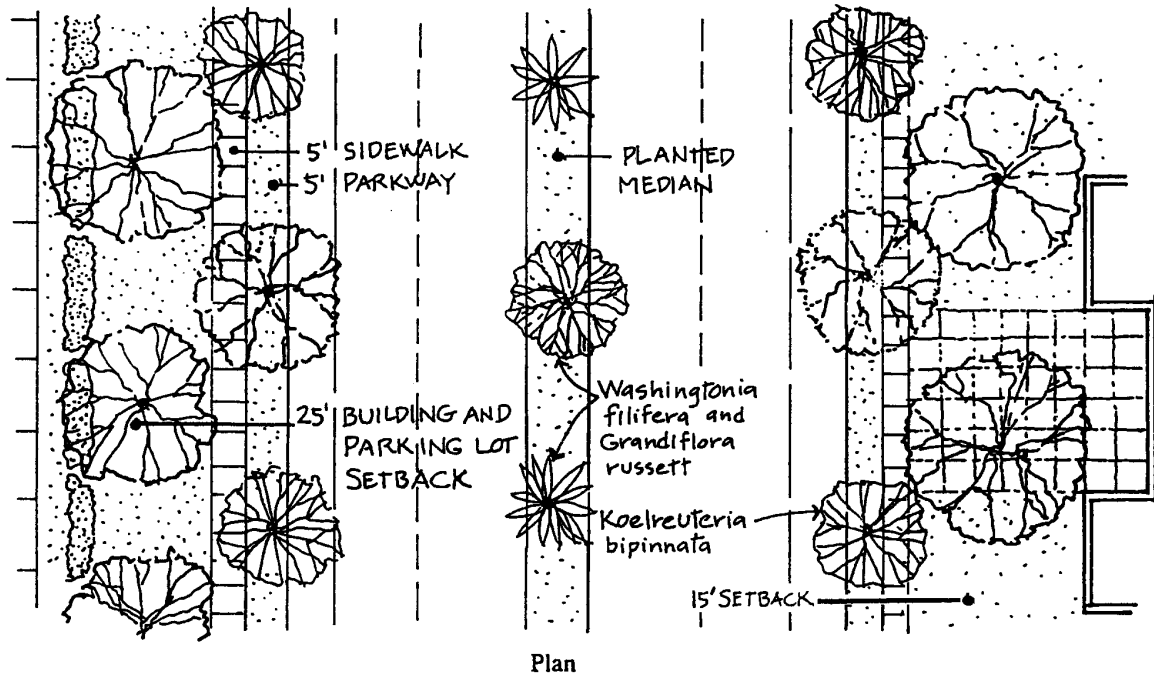


Figure 7.2 Ontario Avenue, West of Main Street  
Cross section dimensions are for illustrative purposes only.  
Final dimensions will be determined prior to project approval.

Main Street South Plaza Specific Plan  
7.0 Design Guidelines

**7.1.3 Ontario Avenue, East of Main Street (See Figure 7.3)**

Ontario Avenue, east of Main street, is a major 6 lane divided arterial. The urban design objective is to provide a landscaped parkway which forms a strong visual edge for the new South Corona community.

From Main Street for approximately 200 feet (commercial frontage), the right-of-way is 134.5 feet in cross section width. After the first 200 feet, the right-of-way is 127 feet in cross section width (residential footage). The east direction of travel consists of 3 travel lanes and a parkway. The west direction of travel consists of 3 travel lanes, a left turn lane, a right turn lane, a center median, and a parkway.

Street trees, planted at a regular interval of 40 feet, are to be *Koelreuteria bipinnata*. The designated median trees are *Magnolia (Grandiflora russett)* and *Washingtonia filifera*.

A 5-foot straight sidewalk, separated from the curb by the parkway strip, is to be provided.

Building setbacks on the south side of Ontario Avenue (sub-district 3) are 23 feet from the street facing property line. Building setbacks on the north side of Ontario Avenue (sub-district 6) are 15 feet from the street facing property line if outdoor patio seating is provided on the building pad as prescribed in Section 6.1.4 (b).

Figure 7.3 A Ontario Avenue, East of Main Street  
Residential

Note: Cross section dimensions are for illustrative purposes only. Final dimensions will be determined prior to project approval.

Main Street South Plaza Specific Plan  
7.0 Design Guidelines

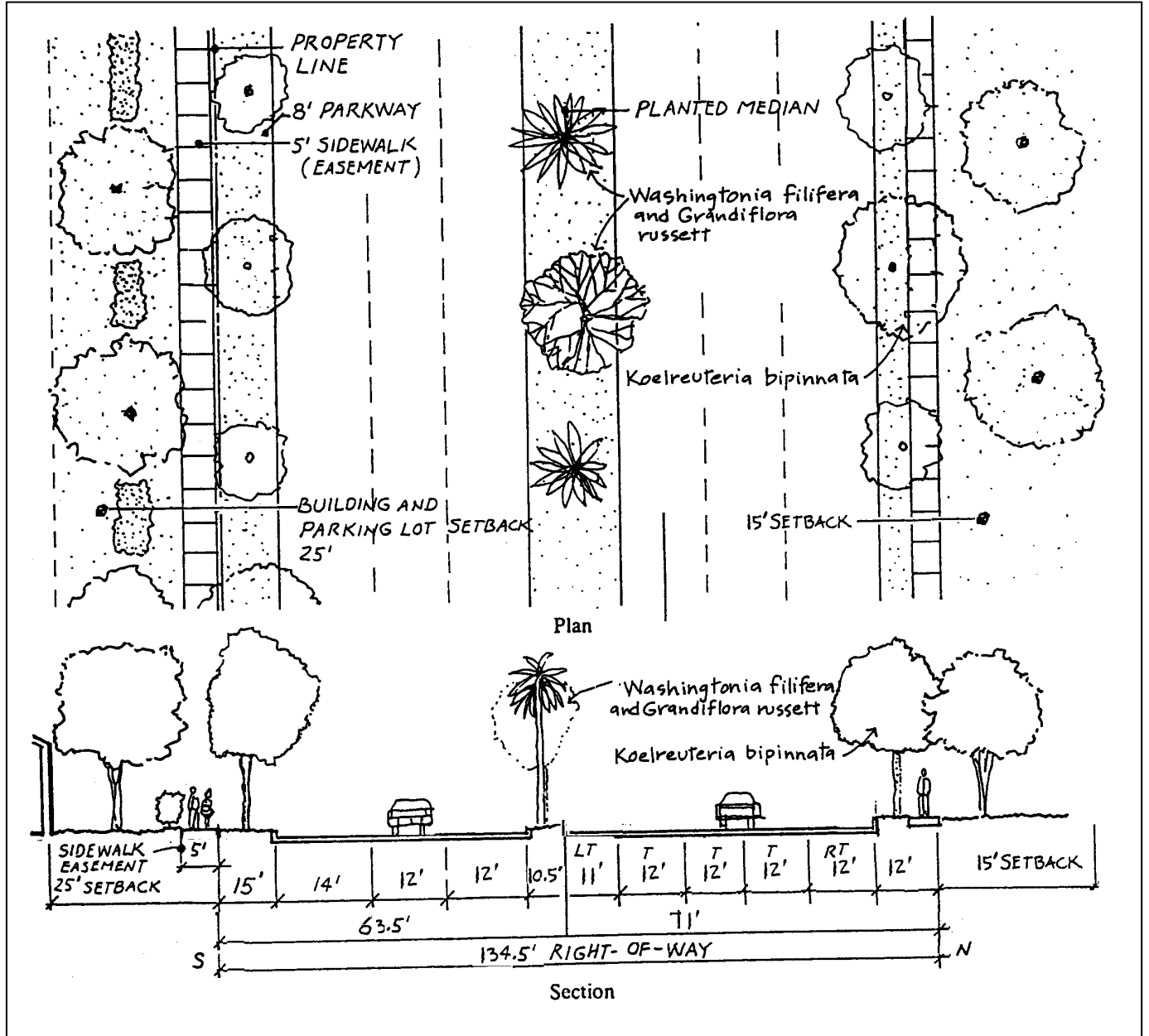


Figure 7.3 B ONTARIO AVENUE, East of Main Street  
Commercial

Note: Cross section dimensions are for illustrative purposes only. Final dimensions will be determined prior to project approval.

Main Street South Plaza Specific Plan  
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**7.1.4 Magnolia Avenue**, between Ontario Avenue and Main Street (See Figure 7.4)

Magnolia Avenue, between Ontario Avenue and Main Street, is a major 6-lane divided arterial. The street right-of-way is 120 feet in cross section width and includes three travel lanes in each direction, a 14 foot planted center median, and a parkway on each side, unless subsequently amended by the General Plan and South Corona Community Facilities Plan.

Street trees, planted at a regular interval of 40 feet within the parkway strip, are to be *Washingtonia filifera* (California Fan Palm). The designated median tree is *Jacaranda mimosifolia*.

A 5-foot straight sidewalk, separated from the curb by the parkway strip, is to be provided on the west side of Magnolia Avenue.

Building setbacks from the property line shall be a minimum of 20 feet for a 120 foot right-of-way and 25 feet for a 100 right-of-way. The setback area is to be fully-landscaped with a combination of trees and shrubs. Trees within the setback area are to be round-headed deciduous species selected from the Plant Material Palette listed in Section 3.3.7.4 of the South Corona Community *Facilities Plan*.

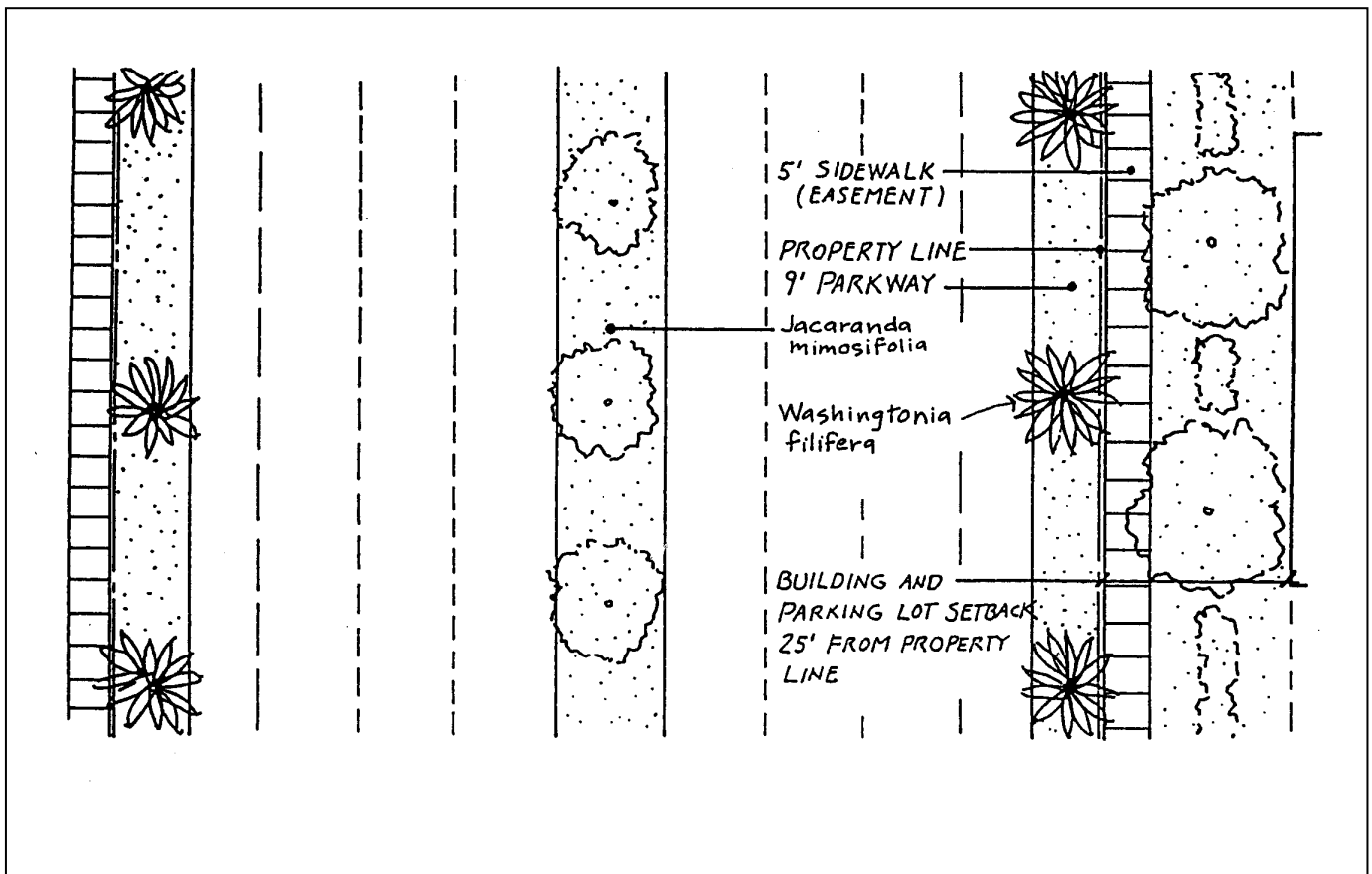
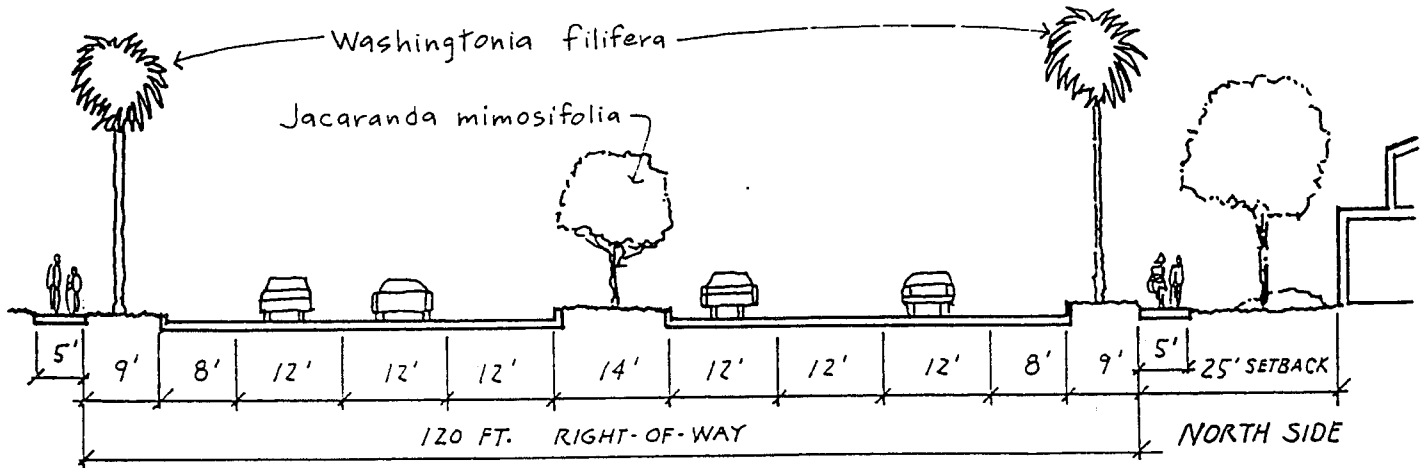


Figure 7.4 MAGNOLIA AVENUE, Between Ontario Avenue and Main Street

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Section  
Figure 7.4 MAGNOLIA AVENUE, Between Ontario Avenue and Main Street

Note: Cross section dimensions are for illustrative purposes only.  
Final dimensions will be determined prior to project approval.



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**7.1.5 Montoya Drive**, west of Main Street. (See Figure 7.6)

Montoya Drive is the new Village Loop Road connecting the commercial district with the Village One Core. The street is designated as a collector with a 2 lane undivided roadway and a total right-of-way width of 68 feet. The curb-to-curb dimension is 44 feet.

The north side of Montoya Drive is within the Specific Plan Area. A parkway strip and 5-foot straight sidewalk shall be provided inward of the curb.

Street trees, planted at a regular interval of 40 feet in the parkway strip, shall be *Quercus agrifolia* (California Live Oak).

Main Street South Plaza Specific Plan  
7.0 Design Guidelines

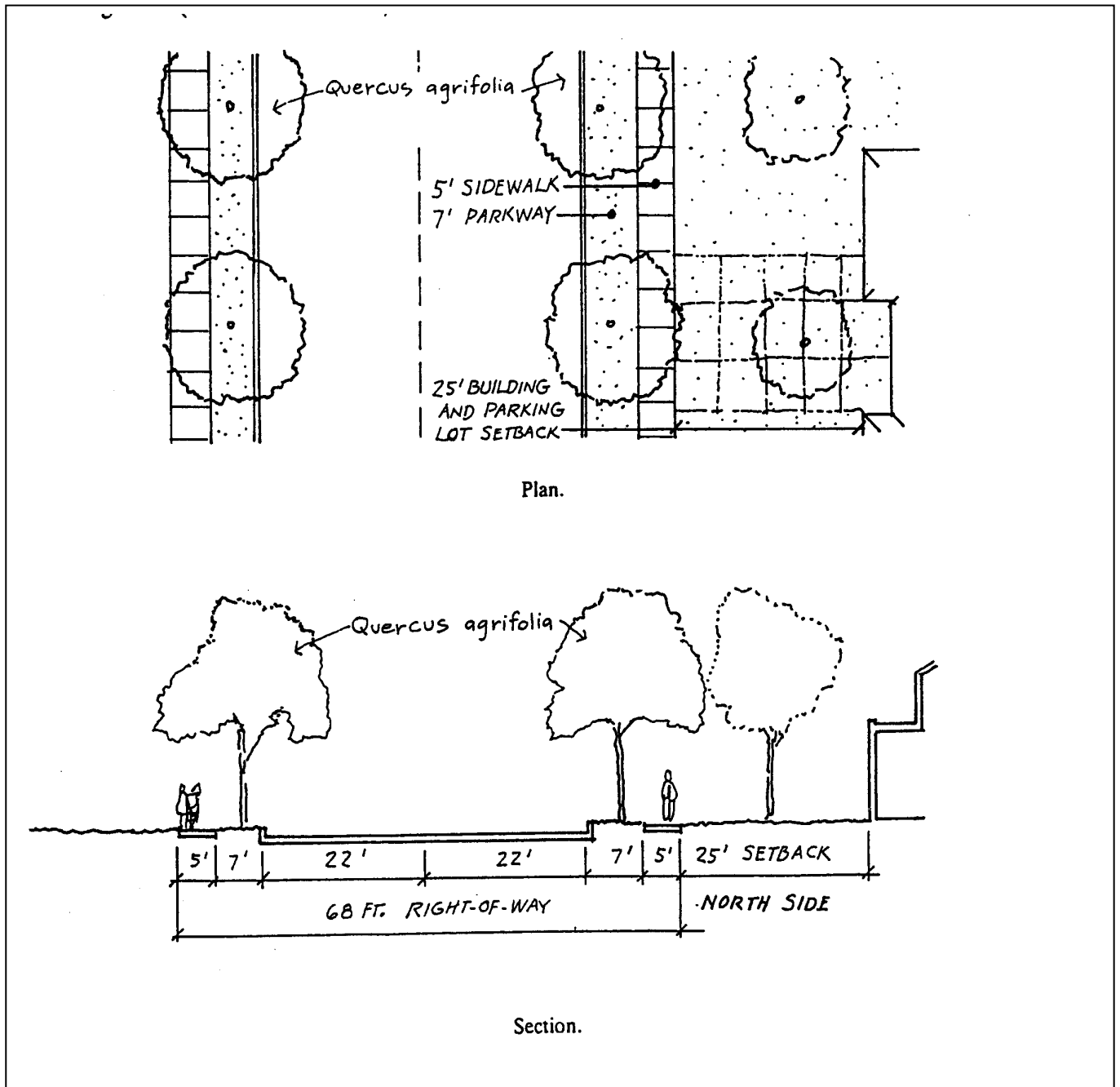


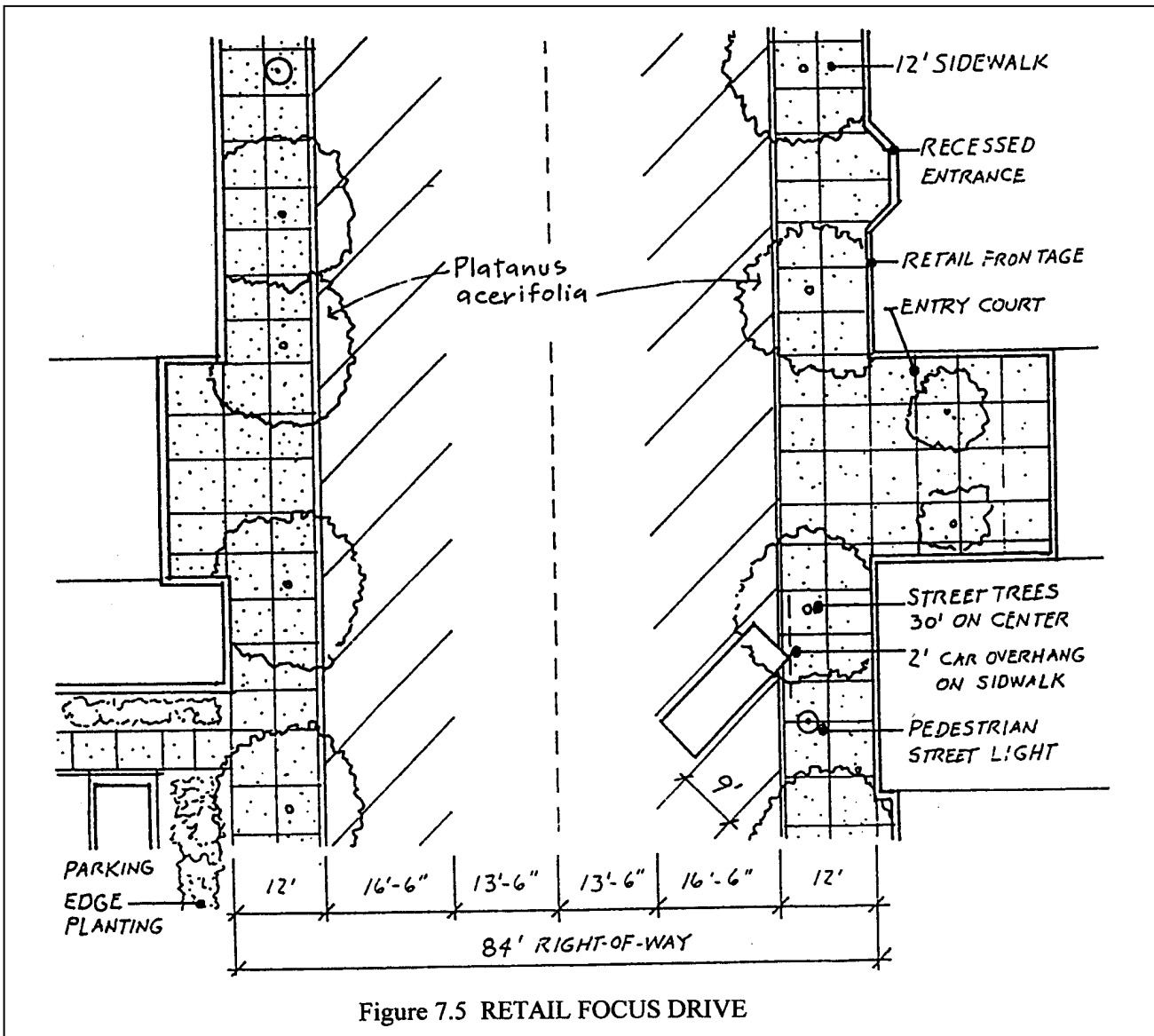
Figure 7.6 MONTOYA DRIVE

Main Street South Plaza Specific Plan  
7.0 Design Guidelines

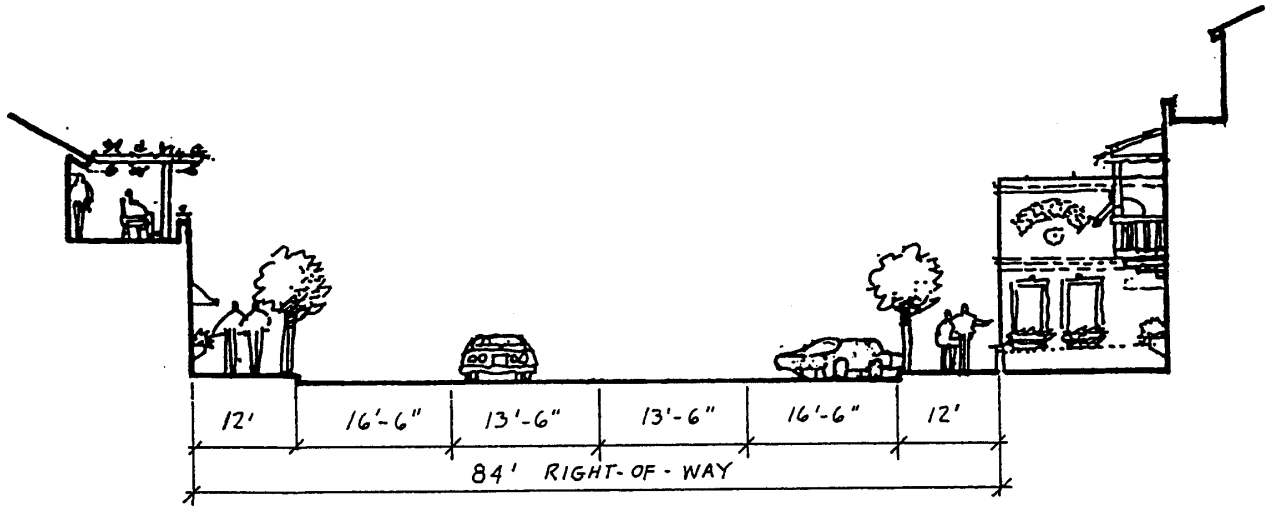
**7.1.6 Retail Focus Drive**, between Main Street and Magnolia Avenue (See Figure 7.5)

The Retail Focus Drive is a pedestrian-oriented street that is divided into two parts by the Main Street Flood Control Channel.

- a) Retail Focus Drive (West) will have slow traffic speeds, and will resemble the character of a traditional "main street" with wide, textured sidewalks, street trees, pedestrian-oriented lighting and street furniture.
- b) Retail Focus Drive (East) shall serve to provide internal circulation within the site, and shall incorporate pedestrian elements and landscaping. The focus drive shall serve to connect outer building pads to the main shopping area for both motorists and vehicles. Where ever possible, buildings should be located adjacent to the focus drive. The drive will also connect major points of entry on Ontario Avenue to those on Magnolia Avenue. Amenities shall also include wide textured sidewalks, street trees, and pedestrian-oriented lighting.



Main Street South Plaza Specific Plan  
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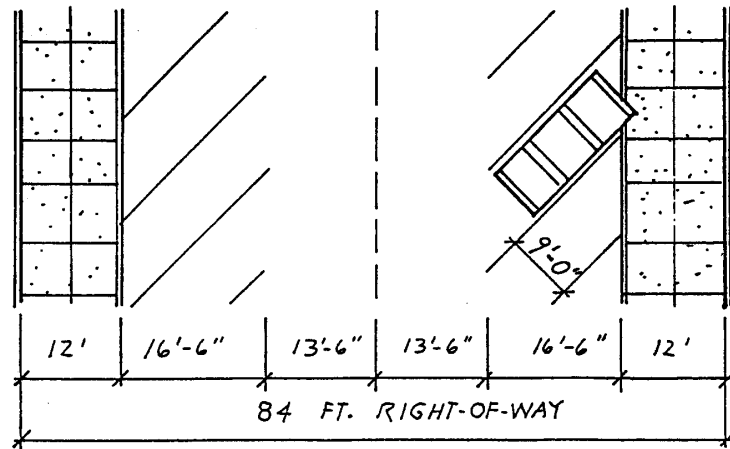


Section

Figure 7.5 RETAIL FOCUS DRIVE

a. Street Plans

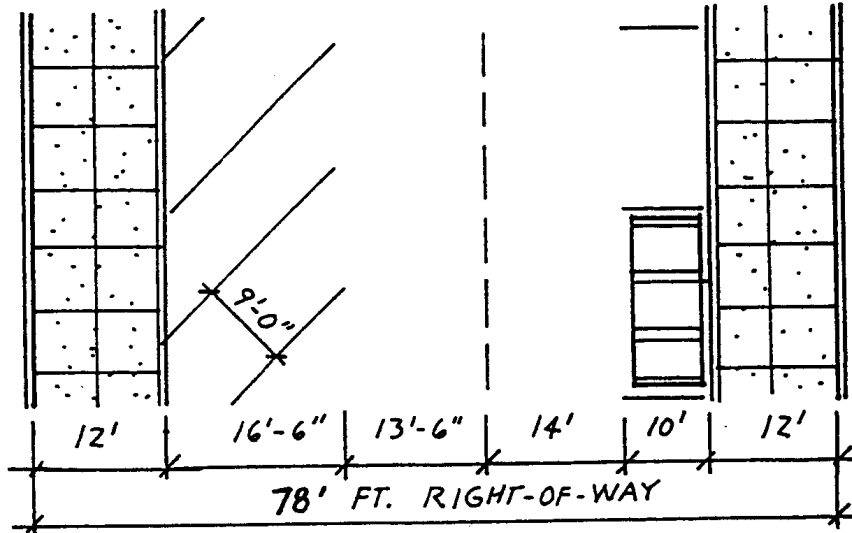
- (1) Diagonal Parking both sides. 84-foot right-of-way.



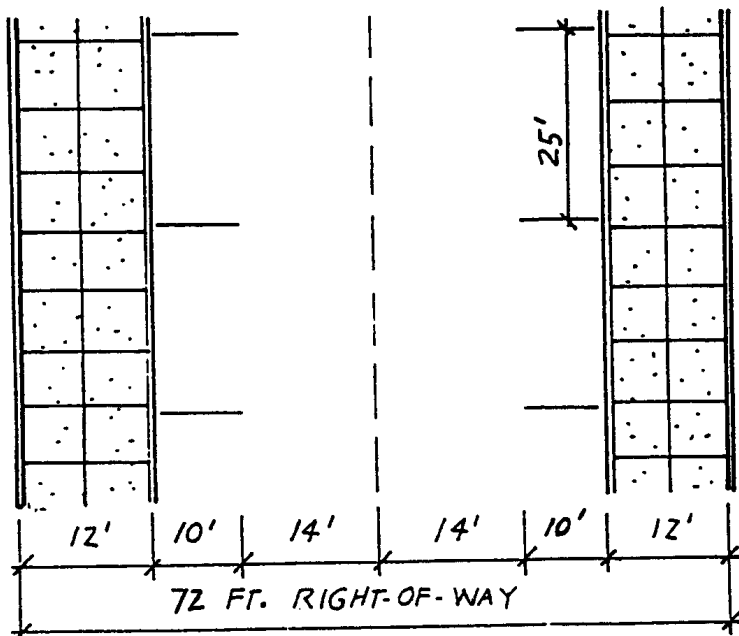
Plan

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- (2) Diagonal Parking one side, Parallel Parking one side. 78-foot right-of-way.



- (3) Parallel Parking both sides. 72-foot right-of-way.



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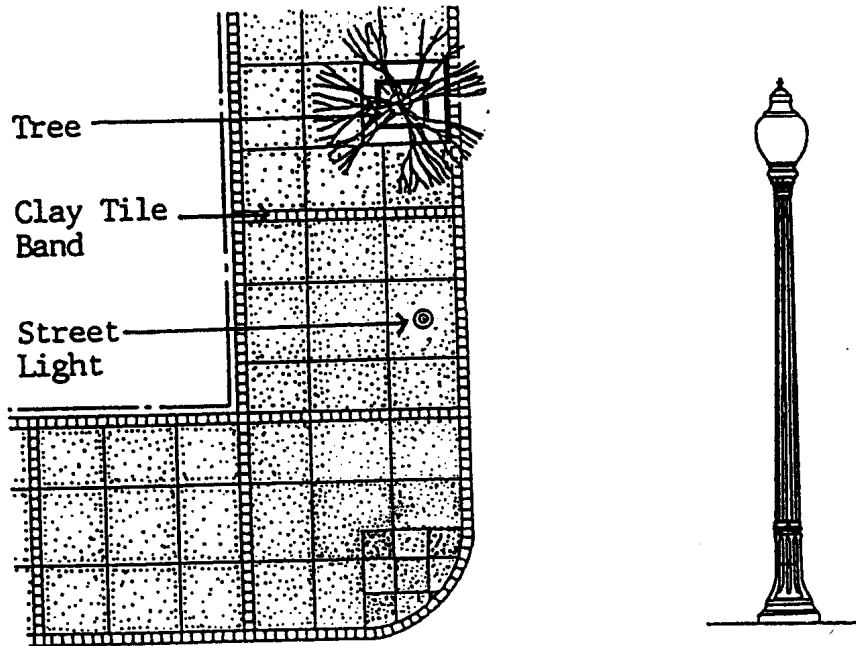
**b. Sidewalks:**

Sidewalks shall be a minimum width of 5 feet within Sub-District 5 and 6, 12 feet within all other districts.

Sidewalk paving shall be continuous from the street curb to the property line and should be broom-finished concrete with a Sunset Red clay tile decorative trim course (See Figure 7.5.)

**c. Street Lighting:**

The street lighting standard shall be the dual “cobra” style in median and historical style lamps in the parkway.



Sidewalk Paving and Historical Street Light Fixture

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**d. Street Trees:**

Street trees shall be planted at a regular interval of 30 feet, except where driveway or utility locations prohibit. A 4 foot by 4 foot planting well with a steel grate flush with the sidewalk surface shall be provided.

The designated street tree is the *Platanus acerifolia* (London Plane Tree) with the *Jacaranda acutifolia* (Jacaranda) used as an ornamental accent tree.

**e. Street Furniture:**

Street furniture is encouraged, and may be carefully-located within the sidewalk space and/or in



Retail Focus Drive

adjacent pedestrian courtyards, patios, plazas and arcades. All street furniture located within the 12-foot wide sidewalk space must be approved by the City and may include benches, fountains, public art, planters, trash containers, drinking fountains, newspaper stands and other appropriate elements.

Main Street South Plaza Specific Plan  
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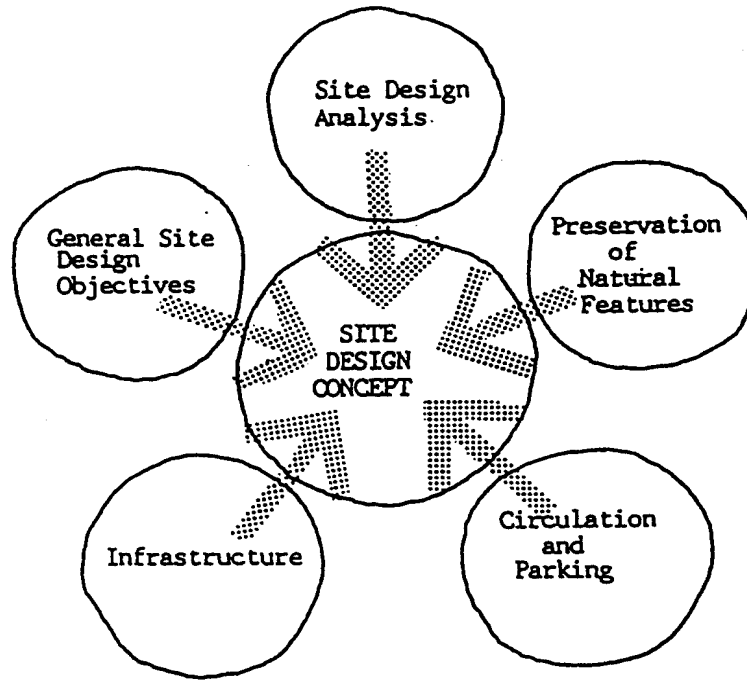
**7.1.7 Vesper Circle**

Vesper Circle will remain in its present location, with its south end extended southward to merge with the new "retail focus drive." The streetscape standards described for the "focus drive" are to be used for Vesper Circle



## 7.2 Site Planning

### 7.2.1 Analysis of Existing Conditions



Every development proposal should include a thorough analysis of existing conditions on and adjacent to the site. A proper analysis includes a careful examination of a site's physical properties, amenities, special problems, and the neighboring environment. The analysis will assist the City in evaluating the proposed development's relationship to existing conditions, neighboring properties, and the community at large.

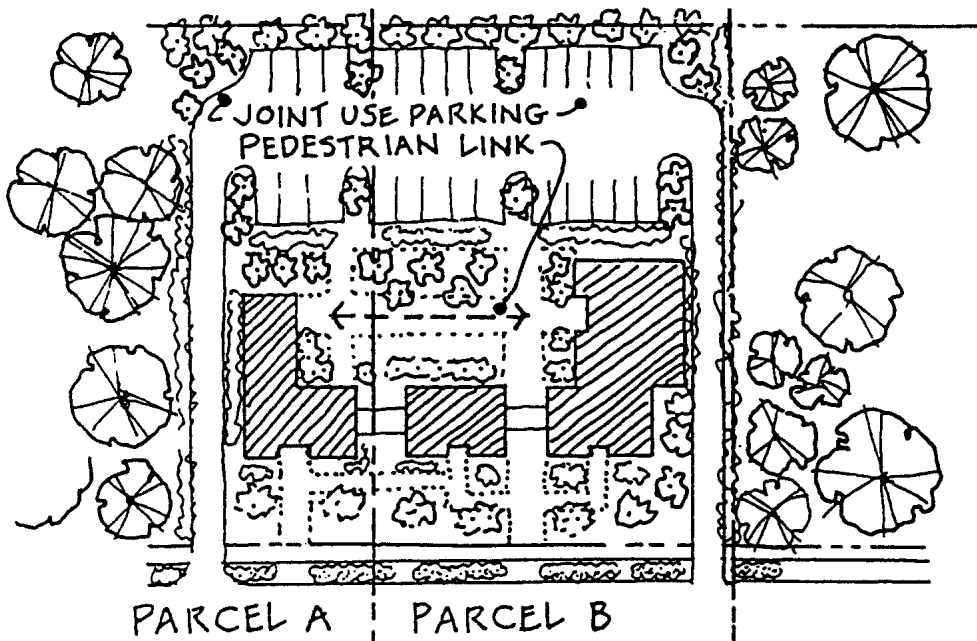
The following information is normally needed and is further described in Section 8.4, "Precise Plan Review."

- Basic Site Data: boundaries and dimensions; location of adjacent streets, sidewalks, and rights-of-way; location of setback lines and easements; existing structures and other built improvements.
- Existing Natural Features: location, size, and species of mature trees; topography, patterns of surface drainage; and other important features that are either amenities or potential hazards in development.
- Neighboring Environment: visual analysis of the site and project impacts; land use and site organization of neighboring properties; form and character of neighboring buildings; important site details on neighboring properties which can be seen from the street.

Main Street South Plaza Specific Plan  
7.0 Design Guidelines

**7.2.2 Relationship to Neighboring Properties**

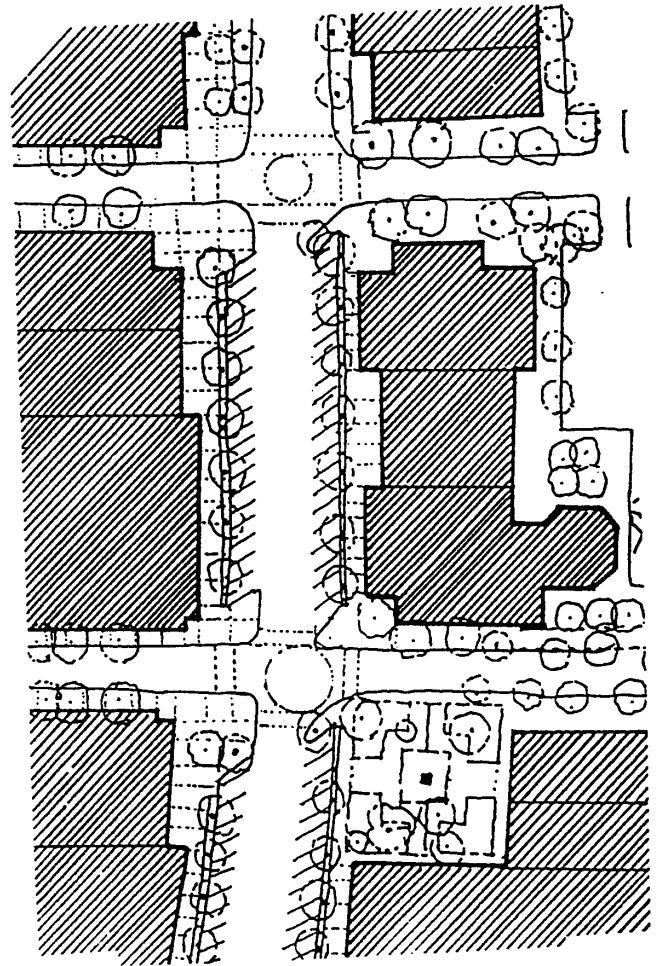
- The site organization should respect the arrangement of buildings, open spaces and landscape elements of adjacent sites. When possible, buildings and open spaces should be located for mutual advantage of sunlight, circulation and preservation of public views.
- Whenever possible, new commercial projects should be linked to adjacent projects to encourage internal circulation by pedestrians, bicycles and automobiles. This will reduce traffic loads on adjacent streets by reducing ingress and egress traffic. The method of linkage will depend upon the specific conditions of each site and project. The linkage could be as simple as a connecting sidewalk, or as extensive as shared driveways, access drives and common parking. When no development exists on the adjacent property, give consideration to its future disposition and how the two sites may develop future linkages.



### 7.2.3 The Building-Street Edge. Retail Focus Drive

#### Design Principles for the Retail Focus Drive

- Create continuous pedestrian activity in an uninterrupted sequence.
- Place as much of the ground level front elevation of the building as possible on or near the front property line to maintain the continuity of the street edge.
- Pedestrian open spaces such as covered walkways, courtyards and plazas are encouraged.
- Provide active building frontages with large window openings at ground level. Avoid blank walls and other "dead" spaces at the ground level.
- Provide frequent street-facing pedestrian entrances.
- Locate parking to the rear of buildings, or to the side when rear is not possible on the West Focus Drive.
- Minimize spatial gaps created by parking or other non-pedestrian areas.
- Require a minimum 12 foot wide sidewalk adjacent to buildings and a minimum 5 foot wide sidewalk at other locations with trees planted in a rhythmic pattern.
- At select locations, widened sidewalk spaces may be provided for street furniture and planting.
- Create small-scale building frontages by dividing building facades into smaller parts.
- The building wall at the street shall not exceed 2 stories.



Illustrative Plan  
Retail Focus Drive

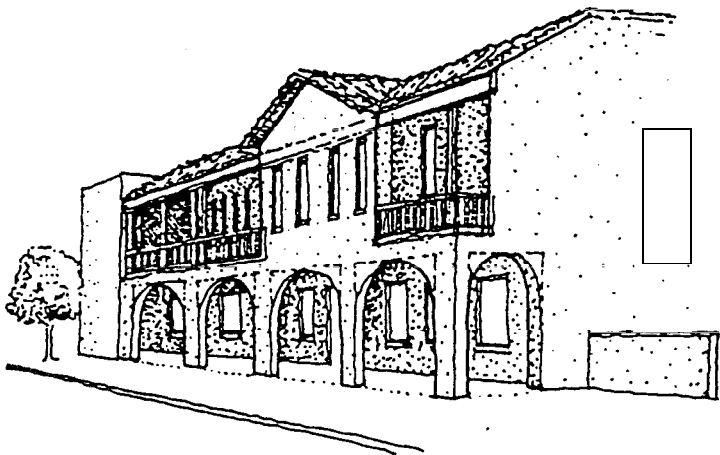
Main Street South Plaza Specific Plan  
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The following building-street edge configurations at the ground level are encouraged:

- Continuous building edge at the sidewalk.

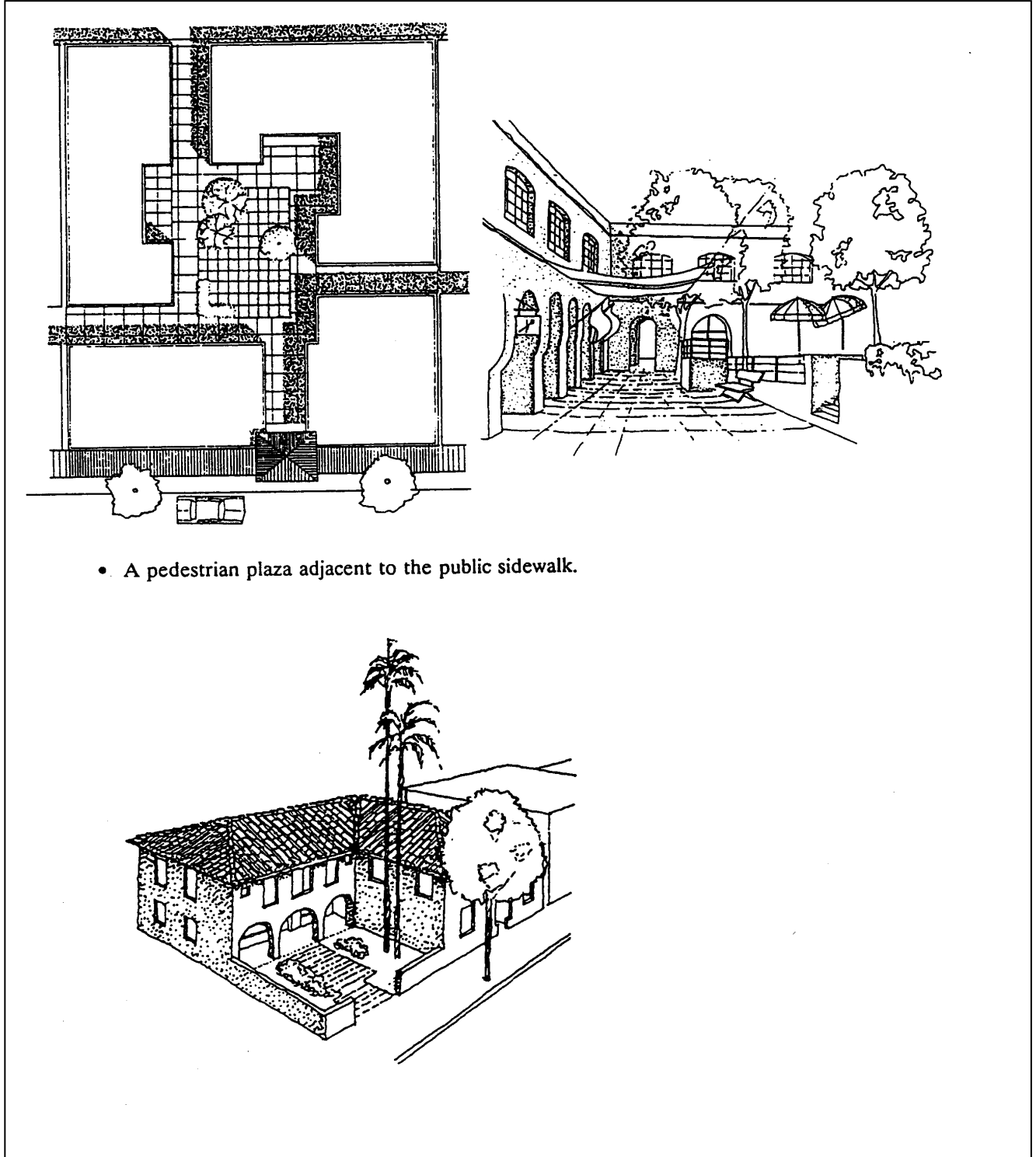


- Continuous building edge with a recessed or projected covered walkway built to the sidewalk.

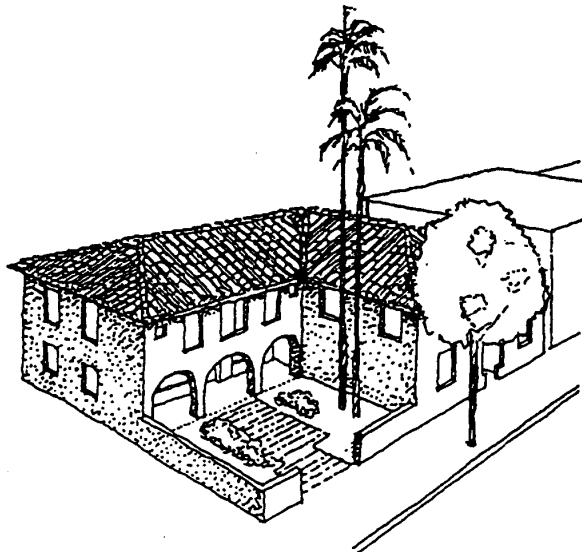


Main Street South Plaza Specific Plan  
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- A shallow courtyard adjacent to the public sidewalk; or a courtyard located deeper in the site, connection to the sidewalk by a visible passage.



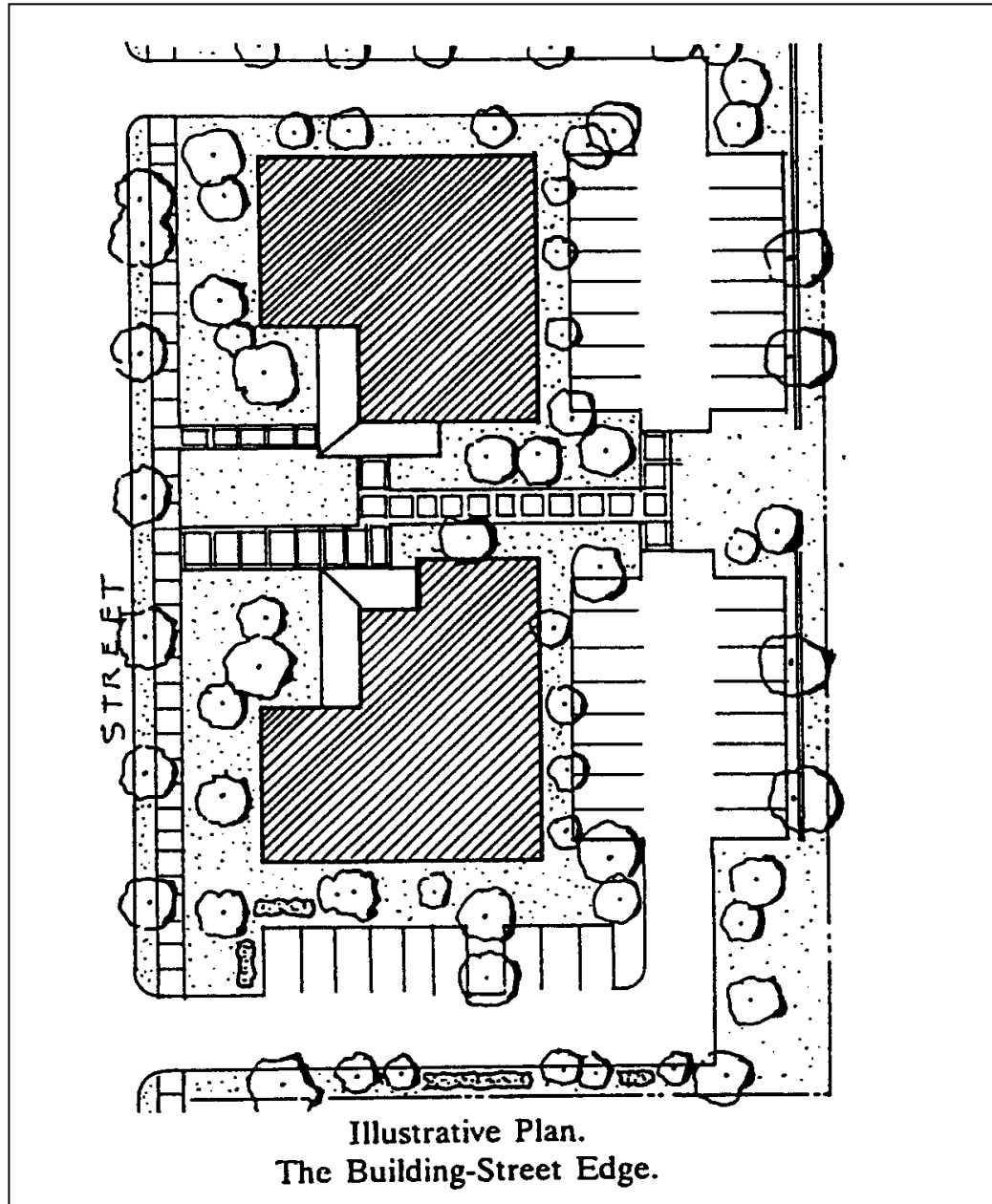
- A pedestrian plaza adjacent to the public sidewalk.



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**7.2.4 The Building-Street Edge. Other Streets.**

Provide a 25-foot landscaped setback area on all other public streets. However, such setback can be reduced in Sub District 1, per section 6.1.4a and Sub-District Six if outdoor patio seating is provided on the building pad, as prescribed in Section 6.1.4 (b). The setback area shall be fully-landscaped with a combination of trees and shrubs. Off-street parking shall not be located in the setback area. Driveways shall be minimized.



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**7.2.5 Parking and Access**

- Curb cuts for driveways opening to public streets shall be limited to a minimum number and are permitted only in the locations identified in Section 5.1.2(c).
- Shared or joint use driveways between separate properties are encouraged to minimize the number of curb cuts on public streets.

**7.2.6 Building Equipment and Services**

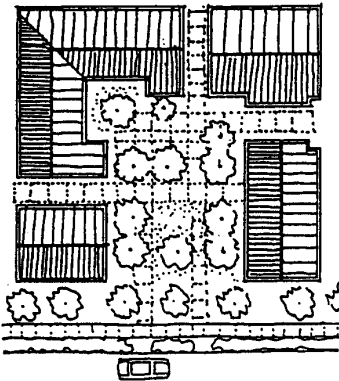
- Locate and design building equipment to minimize its visual impact on public streets and neighboring properties.
- Trash containers and outdoor storage areas shall be screened from public streets, pedestrian areas and neighboring properties. The screen for trash containers should be designed to be compatible with the architectural character of the development and be of durable materials.
- When feasible in larger commercial developments, service and loading areas should be separated from main circulation and parking areas.
- Utility meters shall be located in screened areas.
- Mechanical equipment, solar collectors, satellite dishes, communication devices and other equipment shall be concealed from view of public streets, adjacent properties and pedestrian areas.

**7.2.7 Senior Citizen Residential Development**

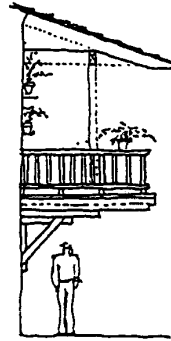
a. Open Space

- Common Open Space shall be provided for use by residents, and may include gardens, courtyards, patios, open landscaped areas, recreation areas and swimming pools.
- A combination of hard and soft surfaces are recommended in order to accommodate a variety of activities.
- Provide common outdoor spaces usable in all seasons. Plantings should be selected to allow for shade, spatial definition and aesthetic considerations.
- Private Open Space directly accessible to each dwelling unit is encouraged. This may be a garden, courtyard, terrace, roof deck, or other space which allows residents to have their own territory outdoors.
- Private Open Space on the ground should be a minimum of 8 feet in each dimension (width and length) and should be screened from public view by planting, courtyard walls or other methods.
- Balconies and verandas are encouraged for upper level private open space.

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Common Open Space Courtyard



Private Open Space Balcony

b. Parking and Garages

- The number of driveway openings to public streets should be kept to a minimum. When access is possible on more than one public street, the street with less traffic volume should be used.
- Covered parking by means of garages, carports and trellised canopies is strongly encouraged. Carports and garages should be compatible with the architecture of the principal buildings.
- The number of garage door openings to the street should be kept to a minimum.

**7.2.8 Site Lighting**

a. General Design Criteria

- Limit the amount and intensity of site lighting to that necessary for safety and security. Lighting is not permitted which interferes with the character of the surrounding residential neighborhoods.
- Lighting which is visible from adjacent properties or roads must be indirect or incorporate full shield cut-offs.

b. Parking Area Lighting

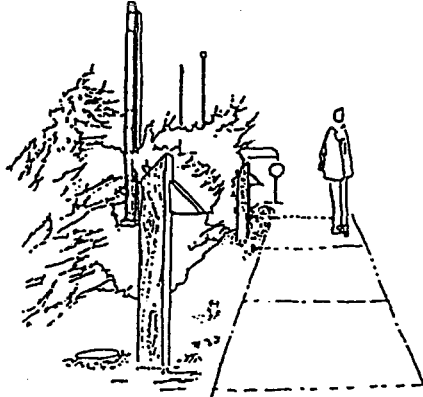
- For commercial parking areas, overhead lighting should be a maximum of 20 feet high and decorative in design, consistent with the architecture of the center or building.
- For residential parking areas, overhead lighting should be mounted at a maximum height of 10 feet. The placement of lighting in residential parking areas should avoid interference with bedroom windows.



Main Street South Plaza Specific Plan  
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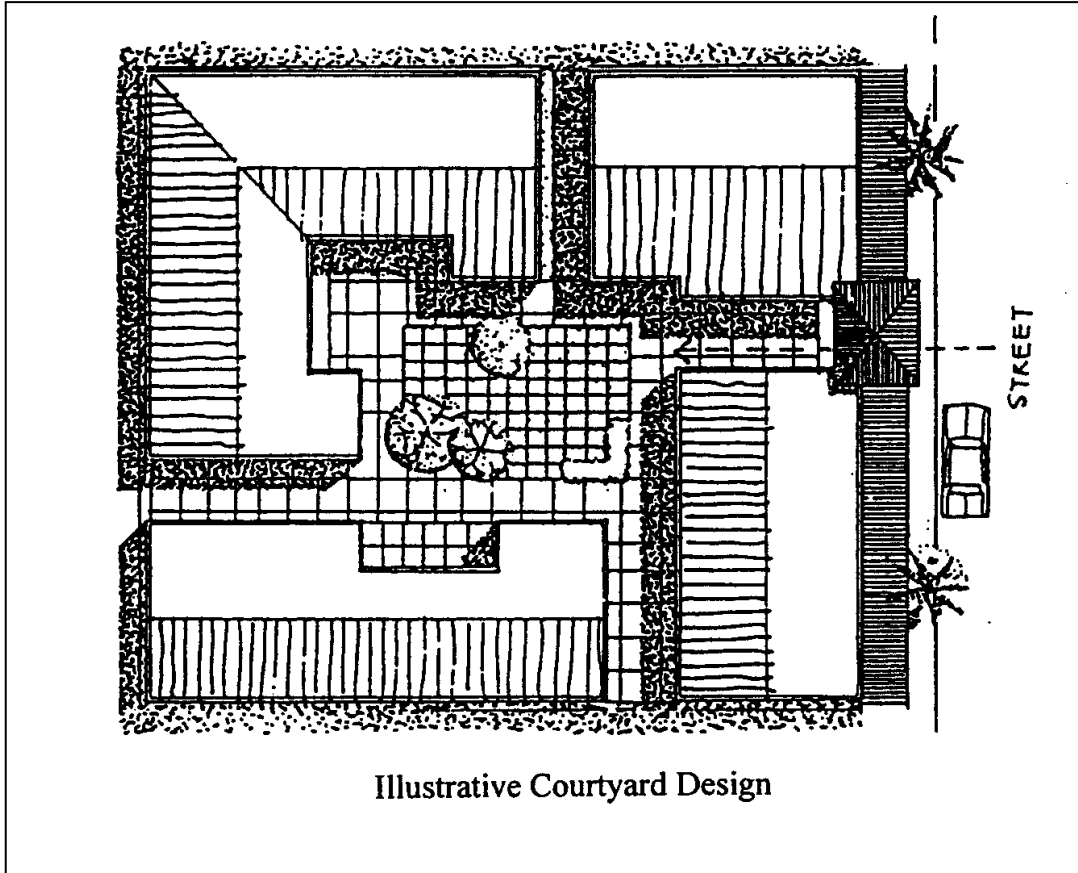
c. Walkway, Garden and Pedestrian Area Lighting

- Overhead fixtures used for pedestrian areas should be limited to a height of 10 feet.
- Along walkways, low-level lighting fixtures mounted on short posts are encouraged. Shatterproof coverings are recommended. Posts should be located to avoid hazards for pedestrians or vehicles.



Main Street South Plaza Specific Plan  
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**7.3 On-Site Landscaped Areas**



A list of approved plant species is provided in the *South Corona Community Facilities Plan*.

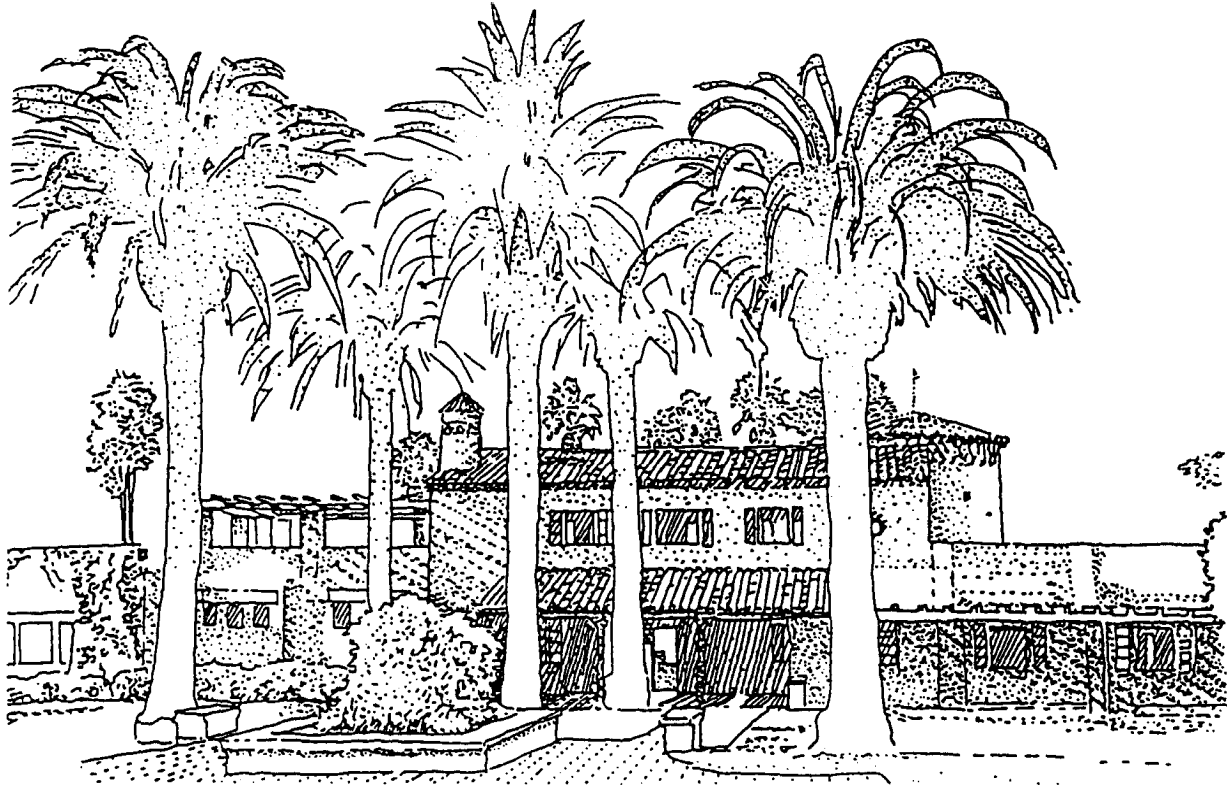
- Landscaping design should emphasize water conservation. All plant selection and irrigation systems shall strive for water conservation in accordance with the Corona Municipal Code Section 17.70.070A. Minimal watering should be required after an initial establishment period of 3 to 5 years.
- Courtyards and other pedestrian spaces for outdoor activities are encouraged.
- Trees should be planted within courtyards to create shade and define spaces. Perimeter plants may be used to soften the space between paving and buildings. Where it is not possible to plant trees, trellises and arbors are encouraged to provide shade and human scale.
- Tile and decorative paving are encouraged. Concrete pavers, stone, brick or tile may be used as banding for concrete slabs.
- Walls and planters should blend with the development's architecture so they become extensions of the buildings. For example, the materials used on the face of a building may be used to face a courtyard wall.

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- Turfed lawn areas require large amounts of water and are therefore discouraged in all development except high use recreation areas, or where reclaimed water is exclusively used. A preferred alternative to turfed lawn areas is to use deep-rooted ground covers and shrubs that require minimal water.
- Sub-District Six shall include pedestrian amenities, such as outdoor seating for restaurant pads, trellis patio covers, water fountains, and concrete walkways through the parking areas from Main Street and Ontario Avenue.

**7.4 Architectural Character**

**7.4.1 Spanish Colonial Revival Architecture and Traditional California**



The desired architectural character of buildings in Sub-Districts One through Five is "Spanish Colonial Revival.". While Sub-District Six shall utilize a "Traditional California" architecture.

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**Spanish Colonial Revival**

There is opportunity for creativity and variety within the "Spanish Colonial Revival," achieved by the way basic elements are interpreted and the degree of contemporary or traditional values used. Creativity of expression using the basic elements is encouraged.

The basic principles of the "Spanish Colonial Revival" are:

- Buildings are carefully suited to their sites. Buildings are arranged to take advantage of topography, climate and view, with exterior patios, arcades, courtyards and balconies used for outdoor living.
- Palm trees, hedges, and other plantings extend from building walls to define exterior living spaces. The landscape character of outdoor spaces is an integral part of the architecture.
- Building forms are one, two and three stories with low pitched hip, gable and shed roofs.
- Building elevations are divided into smaller parts scaled to human size.
- Ornament and sculptural detail are located where special emphasis is desired, such as at entrances and tiled patio areas.

**Traditional California**

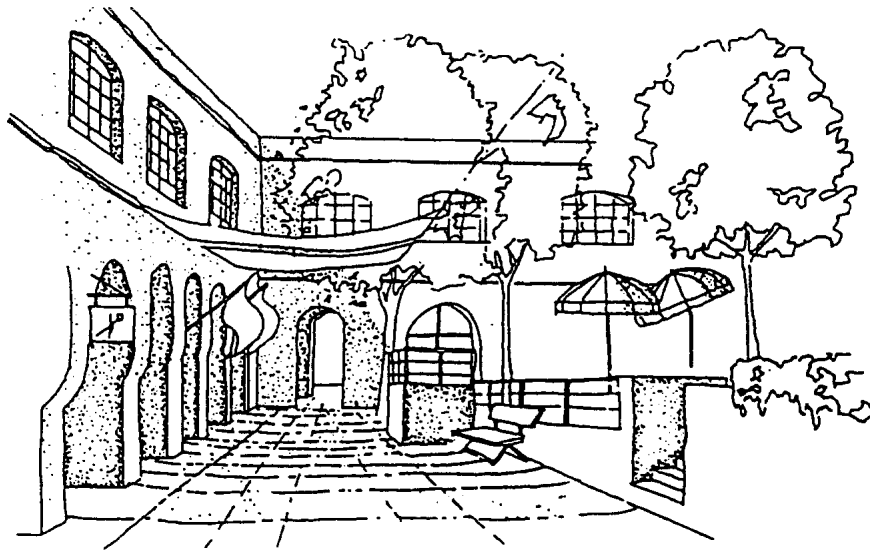
The basic principles of the "Traditional California" are:

- Buildings should be in groups to achieve a village scale appropriate to the function and size of the commercial center.
- Building styles should be tied to a residential scale that consists of low profile architectural forms, patios, trellises and materials that are timeless by improving with age and patina.
- Material should enrich the building to give it a sense of character and integrity. Building materials should consist of exterior plaster with a smooth trowel finish, sand finish, or float finish. Wood siding along with stone or brick veneer is permitted as an accent design or trim. Pitched roof materials shall be clay or concrete tile.

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**7.4.2 Outdoor Spaces**

Defined outdoor spaces are strongly encouraged and may include courtyards, patios, plazas, covered walkways (arcades and colonnades), passages, gardens, trellised areas, verandas, balconies, roof terraces and all other spaces that are enclosed or partly-enclosed by architectural or landscape elements.



**7.4.3 Building Form**

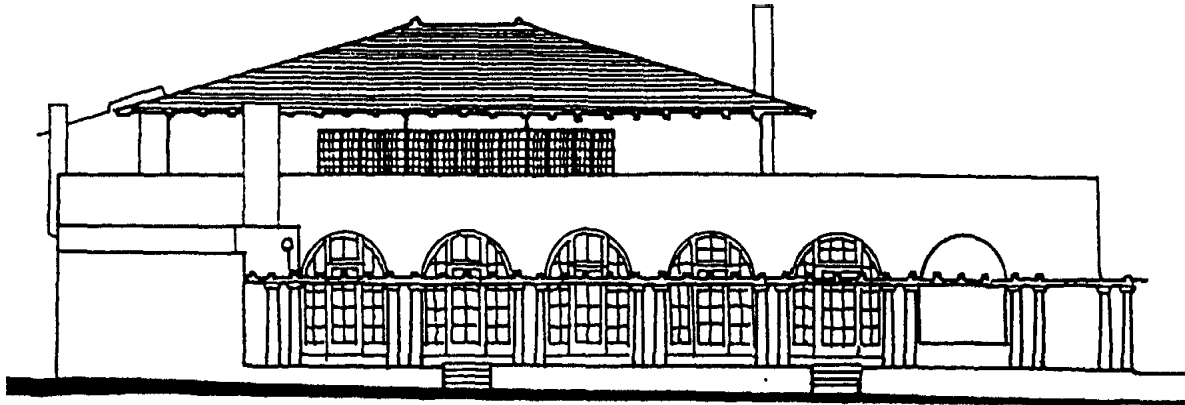
- The bulk and mass of larger buildings should be divided into smaller parts.
- All building elevations visible from public streets, adjacent properties or internal courtyards should incorporate the following elements into their design:
  - Top Story Setback. Buildings over two stories in height should have their third story set back at least 10 feet from all street-facing and side yard setback lines.
  - Building frontages on public streets should include elements such as bays, bay windows, recessed or projecting balconies, verandas and other elements that add scale and character.



Illustration. Building Facade.

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- Building forms and elevations should be articulated to create interesting roof lines and strong patterns of shade and shadow.
- Long or continuous wall planes should be avoided. As a general principle, building surfaces over two stores high or 50 feet in length should be relieved with changes of wall plan that provide strong shadow and visual interest.



Building Mass Divided into Smaller Parts

- Recesses may be used to define courtyards, entries or other outdoor spaces along the perimeter of a building.
- Projections may be used to emphasize important architectural elements such as: entrances, bays, stair towers, balconies and verandas, but should not encroach into setback areas.
- Architectural elements may be incorporated to break down the perceived mass of walls. Recessed balconies, porches, and loggias create a sense of depth in the building wall, contrasting surfaces exposed in sun with those in shadow.
- Varied roof heights are encouraged. Changes in roof orientation should be accompanied by plan offsets. Similarly, abrupt changes in adjacent heights require plan offsets to distinguish building forms.



Encouraged



Discouraged

Need plan offsets to emphasize different building parts.

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**7.4.4 Proportion and Scale**

- Create a visual balance in the relation between dimensions of buildings, their parts and the spaces between and around them.

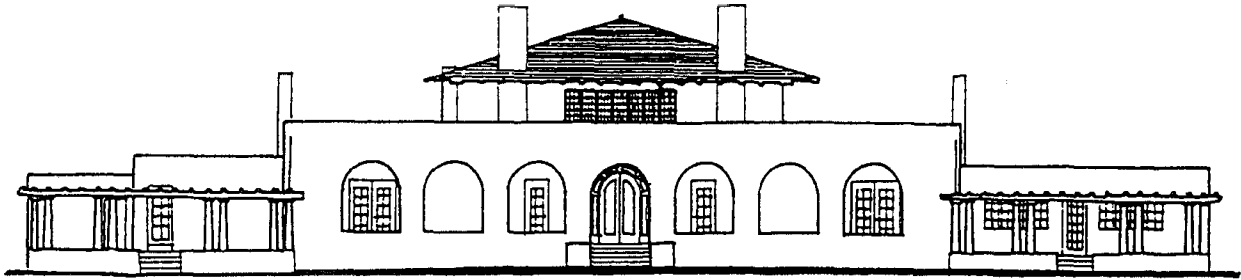
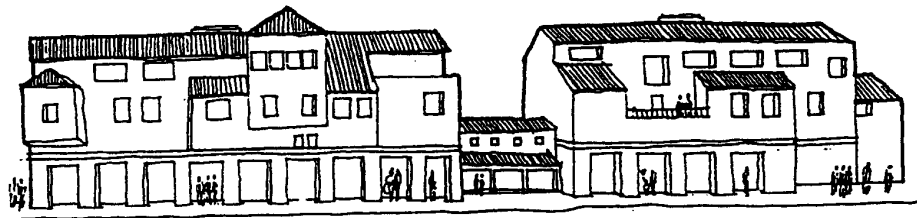


Illustration of "Visual Balance"

- Building proportions with a horizontal emphasis are generally desired, except in the use of accent tower elements. Avoid vertical proportions that exaggerate building height.
- The spacing of building elements in facades should be varied.

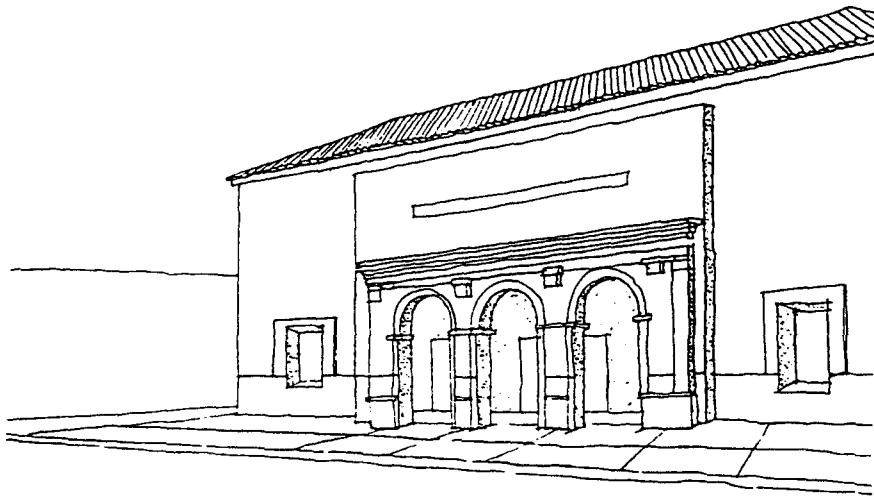


Varied Spacing of Building Elements



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- The area of solid building wall should be greater than the total area of door and window openings in the wall, except at shop front locations.
- Proportion and scale are important in the design of arches and columns. Careful attention should be given to the ratio of height to width of arches. Arcades should have sufficient wall thickness to emphasize strength and balance.
- The relation between the height of a column and its mass or thickness should be visually consistent with the weight of the overhead structure it supports.



Proportion and Scale of Arches

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#### 7.4.5 Building Materials and Colors

Acceptable Building Materials:

- Ground Surfaces:
  - Concrete, tile or masonry surfaces of earth tone colors.
  
- Building or Garden Walls:
  - White, off white or light earth tone cement plaster finishes.
  - Concrete finishes of off white or light earth tone integral color.
  - Whitewashed brick or adobe.
  
- Roofs:
  - Barrel type Mission tile, natural red clay or earth tone color.
  - Concrete tiles in red clay or earth tone colors.
  - Exposed wood structural members, dark-stained to contrast the building walls.
  
- Doors, Shutters and Trim:
  - Painted finishes in colors that harmonize with wall materials. In some cases, contrast may be appropriate.

Building Materials Not Permitted:

- Walls:
  - Reflective glass or dark glass.
  - Large dark building walls or surfaces.
  - Glass curtain walls or large areas of glass, except at shop fronts.
  - Synthetic materials made to resemble masonry.
  - High contrast color glazed masonry or tile, except in small areas of detail.
  - Exposed plywood.
  
- Roofs:
  - Reflective metal roofs.
  - High contrast color glazed roofing tiles.
  - Large areas of built up roofing when located in areas that can be viewed from off-site.
  - Wood shingle and shake roofs (fire hazard).

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**7.4.6 Building Equipment**

- Roof-mounted equipment shall be visually screened from adjacent streets, properties and pedestrian areas. Buildings shall integrate rooftop equipment into the design of the roof. It is often possible to create a "well" within the structure so that the equipment is surrounded by pitched roof forms.

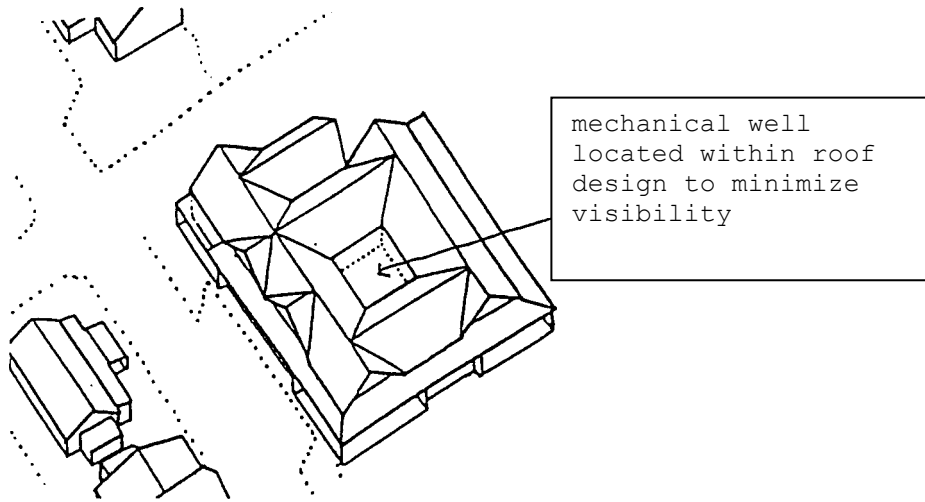


Illustration. Rooftop Equipment Well

- Screening devices (rooftop and ground level) should consider the following elements:
  - Architectural screens should be an extension of the development's architectural character.
  - Screen walls should be constructed for low maintenance and be of durable materials which are consistent with the building's architecture.
  - Landscaping should be used in conjunction with building materials to compliment ground level screening devices.

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**7.4.7 Architectural Details**

**Storefronts**

- All new buildings and renovations should provide attractive street-facing elevations that add pedestrian interest.
- Commercial buildings with long frontages should provide frequent building entrances along the street. Side or rear building entrances should be accompanied by a front, street-facing entrance.
- Entry ways to stores should be recessed for visual interest, and to minimize doors swinging into the sidewalk right-of-way.
- Pedestrian activity should be encouraged by providing views into shops, office and restaurants.
- At sidewalk level, buildings with commercial uses should be primarily transparent. First floor facades with street frontage should consist of pedestrian entrances, display windows or windows affording views into retail, office, gallery or lobby space.
- All glass in windows and doorways should be clear for maximizing visibility into stores. A minimal amount of neutral tinting of glass to achieve sun control is acceptable if the glass appears essentially transparent when viewed from the outside. Opaque and reflecting glass are discouraged.



**Storefront Example**

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**Windows**

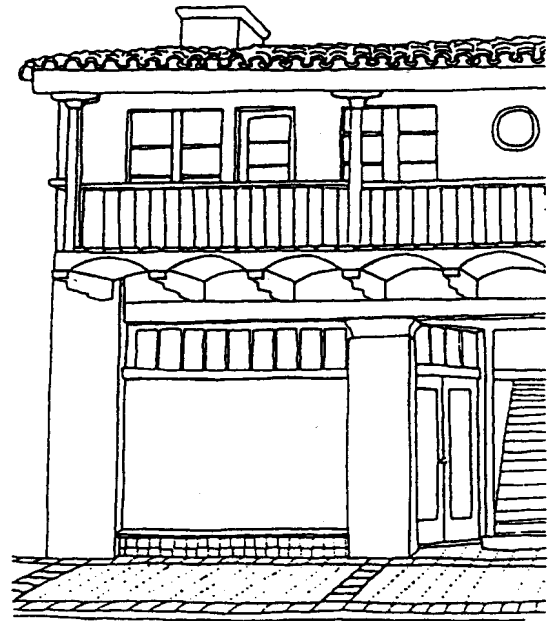
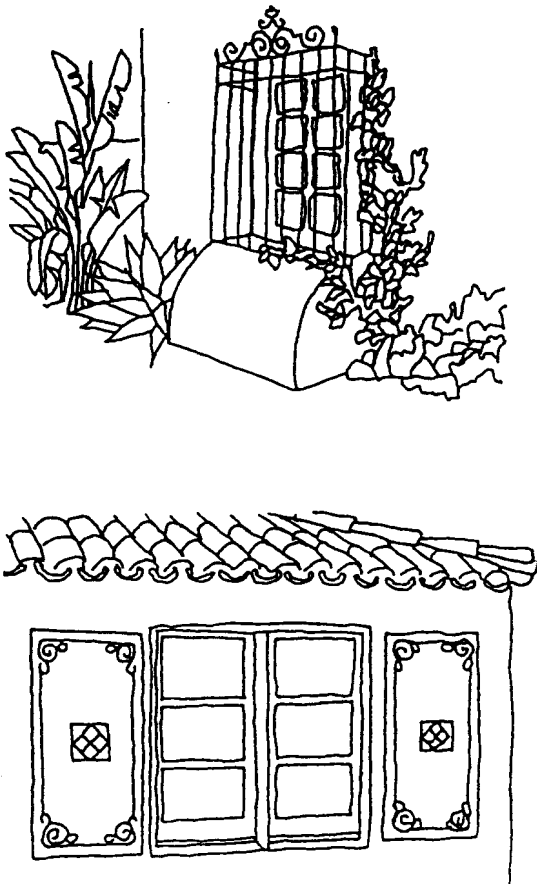
Much of the refinement of "Spanish Colonial Revival" architecture is due to carefully proportioned windows and door openings. Special ornament or treatment of these openings at important locations give identity and personality to buildings and the spaces around them.

Examples of windows in the "Spanish Colonial Revival" architecture are:

- Rectangular wooden casement frames with small panes of glass.
- Large arched windows with wrought-iron metal grill work.
- Small round or octagonal windows with concrete or stone molded borders used for accent.
- Stucco surrounds to create the image of a recess.

Examples of window treatments are:

- Tile, concrete or painted borders used for accent.
- Carved, wooden headers or lintels over windows.
- Wood shutters or canvas awnings.
- Window boxes and ledges for plantings.



Window Examples

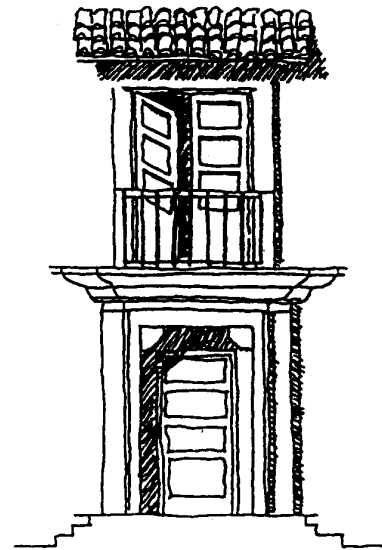
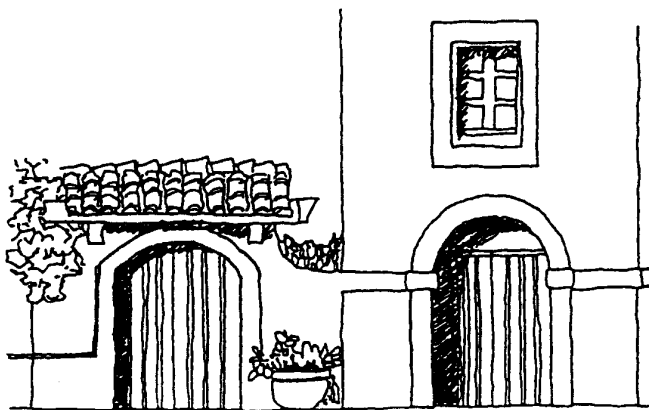
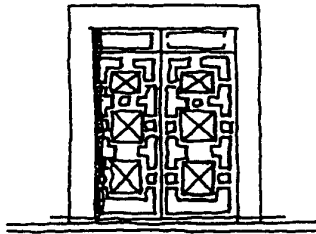
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**Doors**

Exterior doors in "Spanish Colonial Revival" architecture are constructed of heavy wooden planks or of wooden paneled design. They are typically recessed to express the thickness and mass of the wall. Doors that open onto patios and balconies are often wooden double doors.

Examples of door treatments are:

- Doors framed by plain or decorated moldings.
- Border treatments of tile, molded concrete or paint.
- Doors set back in deeply recessed arched openings.



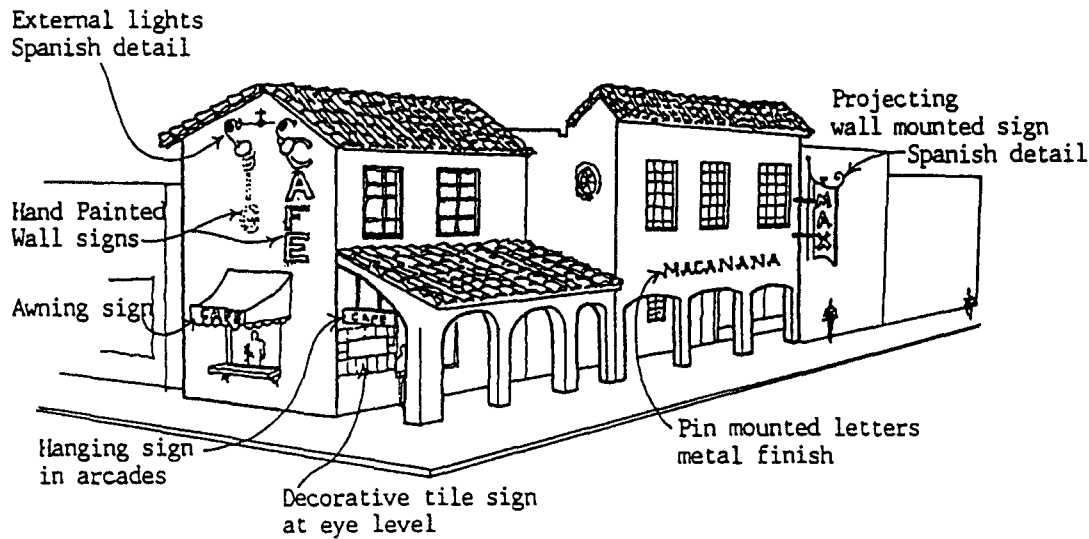
Door Examples

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**7.5 Signage**

**7.5.1 General Design Criteria**

- Signage should be carefully integrated with the design concept and architectural character of each building and site.
- Review Section 6.1.10 of this document for Signage Standards.



Signage Integrated with Architecture

- Signage should be carefully located for safety so as not to block driveway views of oncoming traffic.
- Sign illumination should be projected onto the sign face. The light source should be fully shielded from view. Internally illuminated plastic canister signs shall not be used.
- Small neon window signs under two square feet may be used, but are limited to one per business establishment.
- The total number of colors used for individual signs and their sign components should be limited to 3 in addition to black and white.
- Typefaces should be chosen for simplicity and clarity.
- Sign posts and other structural elements should be made of wood or metal with a white, earth tone, black or natural stain finish. Reflective or bright colors should be avoided.
- No sign, other than a sign installed by a public agency, should be placed in a public right-of-way.
- Rooftop and roof-mounted signs are not permitted. No signs should be located above the eave or parapet top of a building.

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**7.5.2 Recommended Sign Types**

The following types of signs are recommended in the Specific Plan Area:

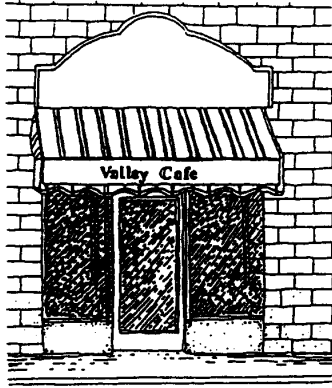
- Awning Valance: A sign or graphic attached to or printed on an awning's valance.
- Monument: A sign supported by one or more uprights or braces on the ground. (Not permitted on Focus Drive, except at entrances.)
- Projecting: Any sign which projects from and is supported by a wall of a building with the display surface of the sign perpendicular to the building wall.
- Single Pole Hanging Sign: A sign which is suspended from a horizontal arm which is attached to a pole.
- Wall: A sign affixed directly to an exterior wall.
- Window: A sign affixed to or behind a window.

**7.5.3 Sign Types Not Permitted**

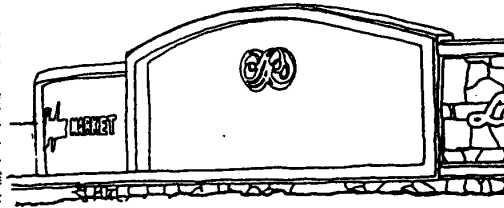
- See Section 6.1.10(f).



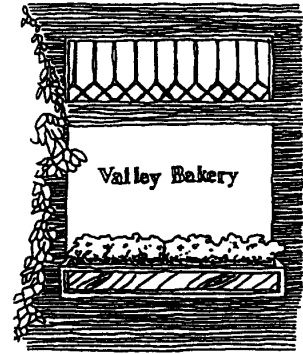
Main Street South Plaza Specific Plan  
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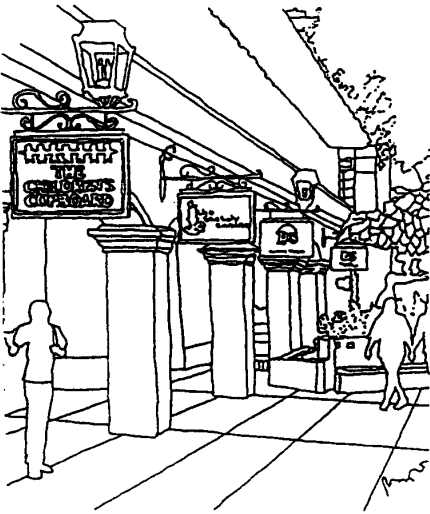
Awning Valance



Monument  
(Focus Drive Entrances)



Window



Projecting



Wall



Single Pole Hanging

Figure 7.7 RECOMMENDED SIGN TYPES

## 8.0 Implementation

### 8.1 Adoption Procedure

This Specific Plan shall be adopted according to the provisions of Chapter 17.53 "Specific Plan Zone" of the City of Corona Zoning Ordinance.

### 8.2 Specific Plan Amendments

During the course of project development and construction, Specific Plan Amendments may become necessary. It should be understood that Specific Plan Amendments are anticipated and are useful to keep the plan current with changes in market conditions and public objectives. Applications for Specific Plan Amendments shall be made to the Planning Director based upon the current application requirements. Applications shall be considered by the Planning Commission and City Council. The following criteria shall be considered for amendments to the Specific Plan:

- Consistency with the City of Corona General Plan, South Corona Community Facilities Plan and Objectives of the Main Street South Plaza Specific Plan.
- Adequate circulation to, from and within the Specific Plan Area is maintained.
- Public service levels capable of adequately serving the Specific Plan Area are provided.
- The public and private open space system is neither disrupted nor depleted.

### 8.3 Variances

Variance applications to the Standards contained herein shall be permitted in compliance with the City of Corona Zoning Ordinance, Section 17.96 for major variances and 17.101 for minor variances.

### 8.4 Precise Plan Review

This Section establishes a design review procedure for all development proposals within the Specific Plan Area. Design Review is intended to focus on principles which can result in creative and imaginative solutions for the project and quality design for the City.

#### 8.4.1 Development Project Reviews

- a) All projects over 640 square feet shall first be submitted for Development Plan Review.
- b) Director Reviews - Minor Projects
  - The Community Development Director shall review all development projects involving the construction of commercial buildings or additions of less than one thousand (1,000) square feet within the Specific Plan Area. This review shall include building additions, facade and roofing alterations, parking lots of less than twenty-five (25) spaces, and any other projects significantly influencing, in the Director's judgment, the design or development of proposed sites, buildings or signs. The Director shall make findings per Section 8.4.3.
- c) Planning Commission Review
  - The Planning Commission shall review all development projects within the Specific Plan Area with the exception of the minor projects referenced in subsection (a) above.

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**8.4.2 Administration**

- a) Application
  - Applications for design review shall be filed by the owner or owners of the property for which the determination is sought. Application shall be made to the Department of Planning. The application shall be accompanied by information specified in Paragraph (c) below and a filing fee shall be paid for the purpose of defraying the costs incidental to the proceedings. Appropriate application and appeal fees shall be determined by City Council resolution.
  
- b) Staff Investigation
  - The Community Development Director shall make an investigation into the facts bearing on the case to provide the information necessary for a determination regarding consistency with the intent of this Specific Plan and the General Plan, and shall report its findings and recommendations to the Planning Commission.
  
- c) Information Requirements
  - The following project data shall be submitted in conjunction with the Precise Plan Review Process:
    1. A legal description of the area proposed for development, including a statement of present and proposed ownership.
    2. A development schedule indicating the approximate date when construction can be expected to begin and be completed.
    3. Project statistics including, but not limited to: project area, proposed lots, dimensions and square footage, and other related information as specified by the Community Development Director.
    4. Site plan(s) and supporting displays drawn to scale, fully dimensioned, easily readable, and containing the following data:
      - a. Title block (applicant's name and date drawn).
      - b. Scale and north arrow.
      - c. Property lines or building sites, dimensioned.
      - d. Existing use of property and site conditions.
      - e. Location, acreage, and proposed type of use for each building site.
      - f. The location and floor size of all existing and proposed buildings, structures and improvements within the building site.
      - g. Sufficient information on land areas adjacent to the site to indicate the relationships between the proposed development and existing and proposed adjacent areas (both within and outside of the Specific Plan Area), including land uses, zoning classifications, densities, circulation systems, public facilities, and unique natural features of the landscape.
      - h. The existing and proposed pedestrian circulation system and dimensions, including its interrelationship with the vehicular circulation system, indicating points of conflict and proposed treatments.
      - i. The existing and proposed circulation system, including existing and proposed improvements to off street parking areas, service areas, loading areas, major points of access to public rights-of-way (including major points of ingress and egress to the development) and dimensions.

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- j. The existing and proposed on-site utility systems.
  - k. Location and size of all areas to be conveyed, dedicated or reserved for public or semi-public use.
  - l. Location, heights, dimensions, materials and copy, if available, of all signs.
  - m. The location, height and materials of all fencing and walls.
  - n. Landscaping and screening areas.
  - o. Any additional background and supporting information as the Community Development Director and Public Works Director deem necessary including required environmental documentation pursuant to the California Environmental Quality Act (CEQA).
5. Preliminary landscape plans, drawn to scale and including the following information:
- a. Areas identified as visually sensitive as part of the Specific Plan, yards and open space areas, and any special elements of the site per architectural guidelines and requirements of the Specific Plan.
  - b. Proposed location of all plant materials, by common and botanical name.
  - c. Proposed size and quantities of plant materials.
  - d. Any additional information as the Director deems necessary.
6. Architectural elevations of all structures (including walls and signs), including, but not limited to the following:
- a. All exterior materials.
  - b. All exterior colors.
  - c. Building height and mass.
  - d. Any additional information as the Director deems necessary.
7. A complete sign program showing the location, dimensions, heights, design copy, materials, colors and means of illumination of all signs.
8. Traffic Study for present and build-out conditions which will include but not be limited to the following (this may be waived at the time of Development Plan Review):
- a. Build-out traffic distribution/trip distribution.
  - b. AM/PM peak hour traffic turning movements.
  - c. The proper access location into the site along Magnolia Avenue, Main Street, Montoya Drive, and Ontario Avenue.
  - d. Traffic signal warrants.
  - e. On-site traffic distribution.
  - f. Intersection turning movements/turning lanes requirement.
9. The applicant shall submit documentation as to how the project complies with the adopted mitigation measures for the Specific Plan Area as listed in Appendix B.

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**8.4.3 Authority**

a) Action

- The Planning Commission is authorized to approve or deny projects and impose reasonable conditions upon such approval, subject to the right of appeal. Conditions may include, but shall not be limited to: requirements pertaining to open spaces, site coverage; architectural features; screening and buffering of adjacent properties, fences, and walls; requirements for installation and maintenance of landscaping and erosion control measures; requirements for street improvements and dedications; regulation of vehicular ingress and egress, and traffic circulation; regulation of signs; regulation of hours or other characteristics of operation; requirements for maintenance of landscaping and other improvements; requirements for development schedules or time limits for performance or completion; and such other conditions as the Commission may deem necessary to ensure compatibility with surrounding uses, to preserve public health, safety, and welfare, and to enable the Commission to make the appropriate findings.
  
- The approval of the Planning Commission will be based upon the project conforming to the following findings:
  1. The design and layout of the proposed development is consistent with the intent of the Main Street South Plaza Specific Plan and the design guidelines and development standards of the appropriate development sub district.
  2. The design and layout of the proposed development will not unreasonably interfere with the use and enjoyment of neighboring existing or future developments, and will not create traffic or pedestrian hazards.
  3. The architectural design of the proposed development is compatible with the character of the surrounding neighborhood and will maintain the harmonious, orderly and attractive development contemplated by the Specific Plan.

b) Process and Appeal Procedures

1. Minor Project Process and Appeal Procedures
  - The Director shall provide project applicants with a written decision approving, denying or conditionally approving a proposed project following submission of a complete application pursuant to this Chapter. The director's decision shall contain the appropriate findings and reasons for his/her decision. The Director shall maintain a copy of the decision on file in the Planning Department.
  - The Director's decision shall be final and shall become effective within ten (10) days following the date of his/her decision. Provided, however, that if within such ten (10) day period an aggrieved party files an appeal, the Director's decision shall be suspended until the appeal is acted upon by the Planning Commission within 30 days or dismissed by the appellant.

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2. Planning Commission Process and Appeal Procedures

- The Planning Commission may approve, conditionally approve, or disapprove an application (or an appeal relating to a minor project) and shall announce and record its decision following submission of a complete application (consistent with CEQA provisions). The decision shall set forth the findings in a formal resolution of the Commission and shall be filed with the City Clerk. A copy of the resolution shall be mailed to the applicant.
- The decision of the Planning Commission shall be final and shall become effective ten (10) days after the adoption of the resolution by the Commission. Provided, however, that if within such 10-day period an appeal of the decision is filed by an aggrieved person, the applicant or the City Council, the filing of such an appeal, with fee, within such a time limit, shall suspend the decision of the Planning Commission until a determination of the appeal by the City Council or its dismissal by the appellant. Such appeal shall be filed in writing with the City Clerk on forms furnished by said clerk. Appeal procedures shall be as follows:
  - a) The hearing date shall be set by the City Clerk within 30 days after the filing of the appeal on the forms provided.
  - b) The Planning Commission secretary shall transmit to the City Council the original application, records, written reports, and Planning Commission resolution disclosing in what respect the application and facts offered in support thereof met or failed to meet the requirements set forth in this Section.

**8.5 Subdivision**

Subdivision of land within the Specific Plan Area shall be governed by Title 16 (Subdivision Ordinance) of the Corona Municipal Code.

**8.6 Financing Program**

The financing program for the Specific Plan Area shall be according to Corona Municipal Code Chapter 16.25 (South Corona Development Fees and Credits) for payment of the development's fair share obligation for the South Corona Master Plan Facilities. On-site improvement shall be by developer.

**8.7 Maintenance of Open Space**

On-site open space areas, including but not limited to landscaping, parking lots, and driveways, shall be maintained by the individual owner of the property. In cases where the above areas are held in common, a property owners' association shall be formed in order to maintain these areas. Off-site landscaped areas shall be maintained by the City's Landscape Maintenance District after being annexed to the District.

**8.8 School Fees**

All new commercial and residential construction shall be required to pay the legally required school mitigation fees prior to the issuance of building permits.